

BID DOCUMENTS

PLANTATION KEY SCHOOL ROOFING AND EXTERIOR RESTORATION PROJECT

100 LAKE ROAD
TAVERNIER, FL 33070



MAY 17, 2022

SITE VICINITY MAP



PROJECT SITE



DRAWING INDEX

SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION NUMBER	REVISION DATE
C1.0	COVER SHEET	5/17/2022	0	N/A
A1.1	SYMBOLS, ABBREVIATIONS & CODE INFORMATION	5/17/2022	0	N/A
A1.2	GENERAL NOTES AND SCOPE OF WORK	5/17/2022	0	N/A
A1.3	SITE PLAN	5/17/2022	0	N/A
A2.1	EXISTING CONDITIONS ROOF PLAN	5/17/2022	0	N/A
A5.0	BUILDING ENVELOPE REPAIR #1	5/17/2022	0	N/A
A5.1	BUILDING ENVELOPE REPAIR #2	5/17/2022	0	N/A
A5.2	BUILDING ENVELOPE REPAIR #3, 4 & 5	5/17/2022	0	N/A
A5.3	BUILDING ENVELOPE REPAIR #6 & 7	5/17/2022	0	N/A
A5.4	BUILDING ENVELOPE REPAIR #8 & 9	5/17/2022	0	N/A

SUPERINTENDENT:

THERESA AXFORD, SUPERINTENDENT

SCHOOL BOARD MEMBERS:

BOBBY HIGHSMITH, DISTRICT 1 - SCHOOL BOARD MEMBER
 ANDY GRIFFITHS, DISTRICT 2 - VICE CHAIR
 MINDY CONN, DISTRICT 3 - SCHOOL BOARD MEMBER
 JOHN DICK, DISTRICT 4 - CHAIR
 DR. SUE WOLTANSKI, DISTRICT 5 - SCHOOL BOARD MEMBER

ARCHITECT'S CODE COMPLIANCE
CERTIFICATION
 JAY AMMON ARCHITECT, INC.
CERTIFIES THAT THESE
CONSTRUCTION DOCUMENTS
COMPLY WITH THE FLORIDA
BUILDING CODE - BUILDING,
2020 EDITION

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVERNIER, FLORIDA
ROOFING AND EXTERIOR
RESTORATION PROJECT
PROJECT NUMBER: 22-012

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REVISIONS		
NUMBER	TYPE	DATE

DRAWN BY: JHH PROJECT NUMBER: 22-012
 APPROVED BY: JDA PHASE: BID DOCUMENTS
 ENGINEER: NHR DATE: MAY 17, 2022

COVER SHEET

PLOT: SHEET C1.0

ARCHITECTURAL ABBREVIATIONS

A/C AIR CONDITIONING
 ACT ACOUSTICAL CEILING TILE or ACOUSTICAL TREATMENT
 AD AREA DRAIN or AREA DEVELOPMENT
 AFF ABOVE FINISHED FLOOR
 ALUM ALUMINUM
 APPROX APPROXIMATELY
 ARF ACRYLIC RESIN FLOORING
 AHU AIR HANDLING UNIT
 BD BOARD
 BF BRICK FACE
 BLDG BUILDING
 BO BOTTOM OF
 BOH BACK OF HOUSE
 BOT BOTTOM
 CFOI CONTRACTOR FURNISHED OWNER INSTALLED
 CJ CONTROL JOINT
 CLG CEILING
 CLR CLEAR
 CMU CONCRETE MASONRY UNIT
 CO CLEAN OUT
 COL COLUMN
 CONC CONCRETE
 CONT CONTINUOUS
 CPT CARPET
 CT CERAMIC TILE

D DEPTH
 DBL DOUBLE
 DET DETAIL
 DIA DIAMETER
 DIAG DIAGONAL
 DMP DISTRESSED METAL PROCESS
 DN DOWN
 DS DOWN SPOUT
 DWG DRAWING
 DWP DISTRESSED WOOD PROCESS
 DWR DRAWER
 DL DEAD LOAD
 (E) EXISTING
 EA EACH
 EDF ELECTRICAL DRINKING FOUNTAIN
 EER ELECTRONIC EQUIPMENT ROOM
 EH EYHOOK
 EIFS EXTERIOR INSULATION & FINISH SYSTEM
 EJ EXPANSION JOINT
 EL ELEVATION
 ELEC ELECTRICAL
 EQ EQUAL
 EQUIP EQUIPMENT
 EXP EXPOSED
 EXT EXTERIOR

FBR FABRIC
 FD FLOOR DRAIN
 FDN FOUNDATION
 FF FINISH FLOOR
 FFE FINISH FLOOR ELEVATION
 FHC FIRE HOSE CABINET
 FMG FACTORY MUTUAL GLOBAL
 FRT FIRE RETARDANT TREATED
 FIN FINISH
 FLR FLOOR
 FOC FACE OF CONCRETE
 FOF FACE OF FINISH
 FOM FACE OF MASONRY
 FOS FACE OF STUD
 FRP FIBERGLASS REINFORCED PLASTIC
 FS FLOOR SINK or FINISH SEALER
 FT FEET
 GA GAUGE
 GALV GALVANIZED
 GFRC GLASS FIBER REINFORCED CONCRETE
 GFRG GLASS FIBER REINFORCED GYPSUM
 GAL GALLON
 GL GLASS
 GYP BD GYPSUM BOARD
 H HIGH
 HB HOSE BIBB
 HM HOLLOW METAL
 HORIZ HORIZONTAL
 HP HIGH POINT
 HR HOUR
 HT HEIGHT
 HVAC HEATING VENTILATING & AIR CONDITIONING
 ID INSIDE DIAMETER
 INSUL INSULATION
 INT INTERIOR
 JT JOINT
 KEC KITCHEN EQUIPMENT CONTRACTOR
 KD KILN DRIED
 KDAT KILN DRIED AFTER TREATMENT
 LAV LAVATORY
 LL LIVE LOAD
 LP LOW POINT
 MAINT MAINTENANCE
 MATL MATERIAL
 MAX MAXIMUM

MBSR MODIFIED BITUMINOUS SHEET ROOFING
 MCC MOTOR CONTROL CENTER
 MECH MECHANICAL
 MET METAL
 MEZZ MEZZANINE
 MF METAL FACE
 MFR MANUFACTURER
 MIN MINIMUM
 MISC MISCELLANEOUS
 MO MASONRY OPENING
 MRT MOISTURE RESISTANT TREATMENT

(N) NEW
 NIC NOT IN CONTRACT
 NR NOT RATED
 NTS NOT TO SCALE
 NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
 OC ON CENTER
 OCC OPERATOR CONTROL CONSOLE
 OCP OPERATOR CONTROL PANEL
 OD OUTSIDE DIAMETER or OVERFLOW DRAIN
 OFI OWNER FURNISHED ITEM
 OFOI OWNER FURNISHED OWNER INSTALLED
 OFCI OWNER FURNISHED CONTRACTOR INSTALLED
 OPP OPPOSITE
 P.S.I. POUNDS PER SQUARE INCH
 PF PLASTER FACE
 PL PLATE
 PLAM PLASTIC LAMINATE
 PLYWD PLYWOOD
 PNT PAINT
 POC POINT OF CONNECTION
 POS POINT OF SALE
 PR PAIR
 PREP PREPARATION
 PROJ PROJECTION
 PSF POUNDS PER SQUARE FPPT
 PT PRESSURE TREATED
 QT QUARRY TILE

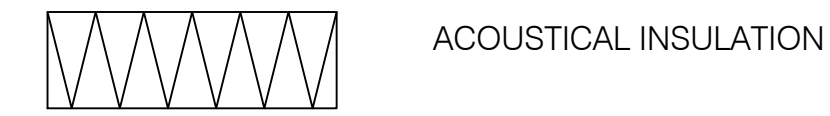
R RISER
 R or RAD RADIUS
 RBC RESILIENT BASE COVE
 RBS RESILIENT BASE STRAIGHT
 RC REINFORCED CONCRETE
 RD ROOF DRAIN
 RCP REFLECTED CEILING PLAN
 REF REFERENCE
 REQD REQUIRED
 RF RESILIENT FLOOR
 RM ROOM
 RO ROUGH OPENING
 RS ROUGH SAWN

SC SOLID CORE
 SF SQUARE FEET or STONE FACE
 SHT SHEET
 SIM SIMILAR
 SPF SPECIAL FINISH
 SQ SQUARE
 SQ FT SQUARE FEET OR SQUARE FOOT
 SS STAINLESS STEEL
 SSP SANITARY SHEET PLASTIC
 ST STONE
 STD STANDARD
 STL STEEL
 STRUCT STRUCTURAL
 SUSP SUSPENDED
 S4S SURFACED FOUR SIDES
 SYP SOUTHERN YELLOW PINE
 T TREAD
 T&G TONGUE AND GROOVE
 TEL TELEPHONE

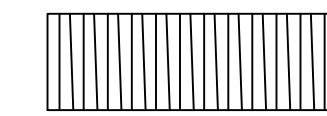
TOC TOP OF CONCRETE or CURB
 TOM TOP OF MASONRY
 TOP TOP OF PARAPET
 TOS TOP OF STEEL
 TOW TOP OF WALL
 TYP TYPICAL
 UL UNDERWRITERS LABORATORIES INC.
 UNO UNLESS NOTED OTHERWISE
 UPH UPHOLSTERY
 VCT VINYL COMPOSITION TILE
 VERT VERTICAL
 VIF VERIFY IN FIELD

W WIDE
 W/ WITH
 WC WALL COVERING OR WATER CLOSET
 W/O WITHOUT
 WF WOOD FACE
 WD WOOD
 WDB WOOD BASE
 WDF WOOD FLOOR
 WP WORK POINT
 WR WATER RESISTANT

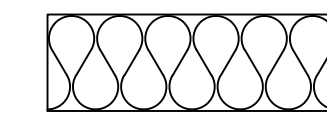
MATERIALS LEGEND



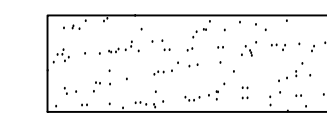
ACOUSTICAL INSULATION



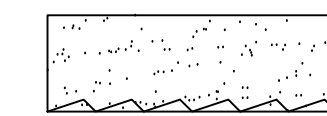
ACOUSTICAL TILE



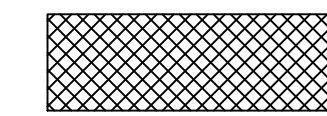
BATT INSULATION



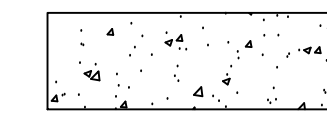
PORTLAND CEMENT PLASTER



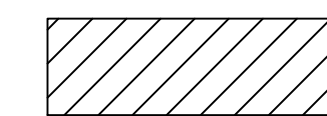
PORTLAND CEMENT PLASTER OVER METAL LATH



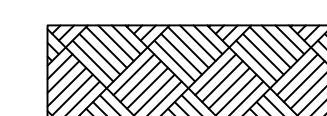
COMPRESSIBLE FILLER



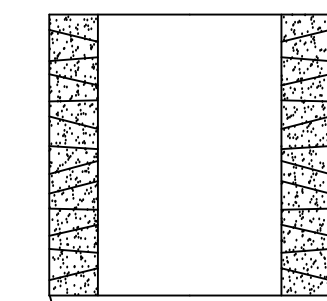
CONCRETE



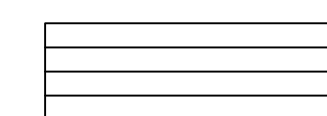
CONCRETE MASONRY UNIT



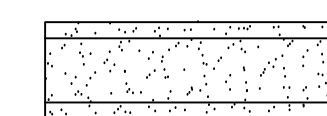
EARTH



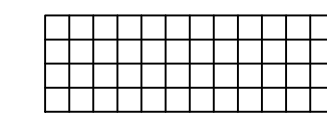
C.M.U. (SECTION)



GLASS



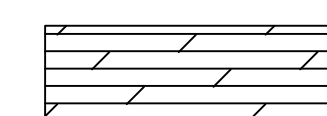
GYPSUM BOARD



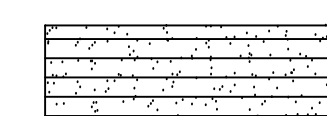
RIGID INSULATION



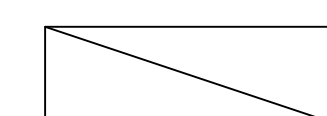
METAL



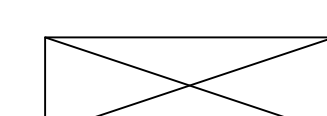
PLYWOOD



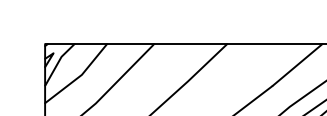
DENS DECK SHEATHING



WOOD BLOCKING



CONTINUOUS WOOD MEMBER

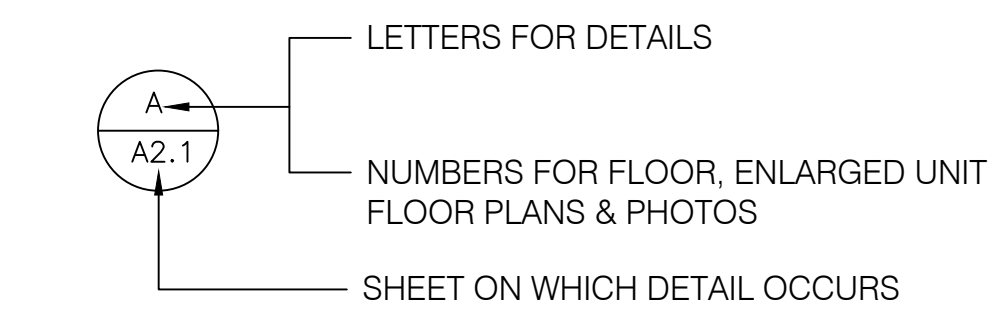


FINISHED WOOD MEMBER

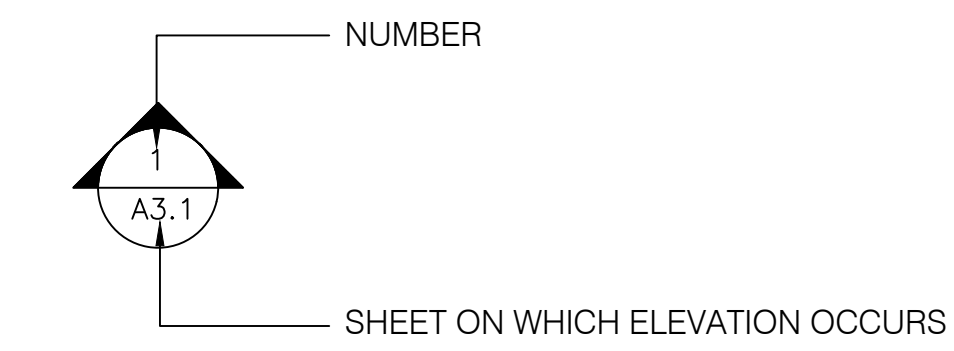


EXTERIOR INSULATION & FINISH SYSTEM

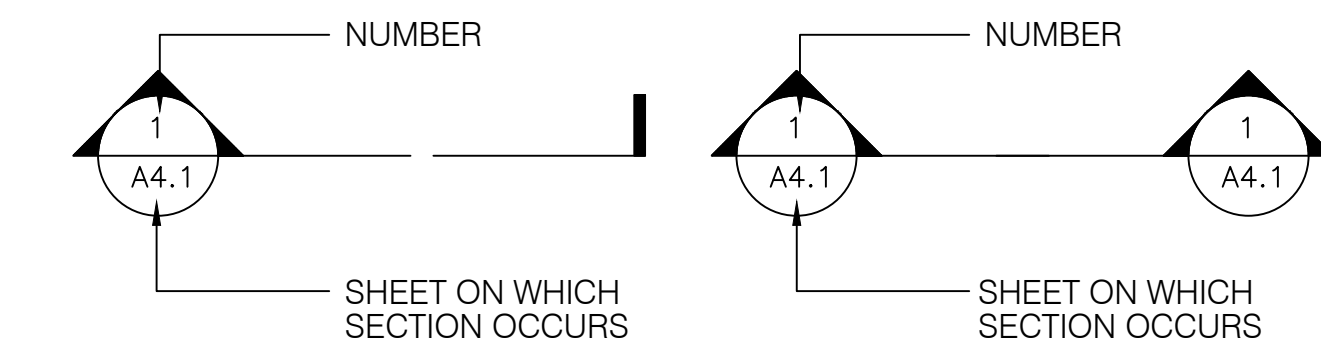
SYMBOLS



DETAIL

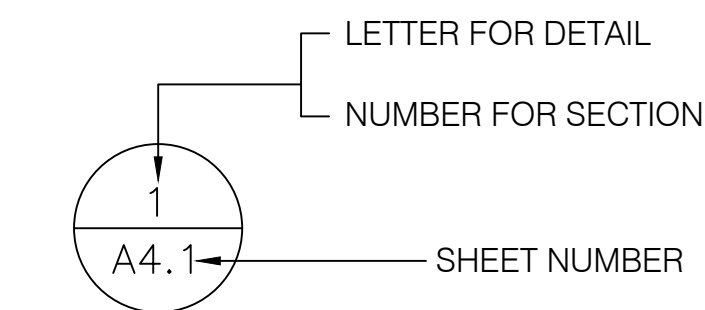


ELEVATION



WALL SECTION

OVERALL BUILDING SECTION



CODE INFORMATION

CURRENT BUILDING CODES

Building :	2020 FLORIDA BUILDING CODE	Edition :	SEVENTH
Mechanical :	2020 FLORIDA MECHANICAL CODE	Edition :	SEVENTH
Plumbing :	2020 FLORIDA PLUMBING CODE	Edition :	SEVENTH
	2020 FLORIDA FUEL GAS CODE	Edition :	SEVENTH
Electrical :	2020 FLORIDA ELECTRICAL CODE	Edition :	SEVENTH
Accessibility:	2020 FLORIDA ACCESSIBILITY CODE	Edition :	SEVENTH
	2020 FLORIDA ENERGY CONSERVATION CODE	Edition :	SEVENTH

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
 TAVENNER, FLORIDA
 ROOFING AND EXTERIOR RESTORATION PROJECT
 PROJECT NUMBER: 22-012

JAY AMMON ARCHITECT, INC.
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REVISIONS		
NUMBER	TYPE	DATE

DRAWN BY: JHH PROJECT NUMBER: 22-012
 APPROVED BY: JDA PHASE: BID DOCUMENTS
 ENGINEER: NHR DATE: MAY 17, 2022

SYMBOLS, ABBREVIATIONS AND CODE INFORMATION

A1.1

PLOT: N.T.S. SHEET

GENERAL NOTES

A. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. THIS SHALL INCLUDE VERIFYING THE EXACT LOCATIONS, DIMENSIONS AND QUANTITIES OF ALL WALL MOUNTED EQUIPMENT AND PENETRATIONS WHICH INCLUDES, BUT IS NOT LIMITED TO VENT PIPES, DRAINS, ELECTRICAL JUNCTION BOXES, CURBS, FLASHING AND ALL OTHERS' PENETRATIONS AND WORK ASSOCIATED WITH THIS ROOFING REPLACEMENT PROJECT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ALL EXISTING CONDITIONS WHICH ARE IN VARIANCE WITH THE CONDITIONS DOCUMENTED HEREIN.

B. THE BUILDING MAY BE FULLY OR PARTIALLY OCCUPIED; CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY OF ALL PERSONS AT THE PROJECT SITE.

C. CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN, INCLUDING ADJACENT ROOFS, WALLS, GROUNDS, EXTERIOR SURFACES AND THE INTERIOR OF THE BUILDING. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO PAINT, WATER, DUST, DEBRIS AND PHYSICAL DAMAGE. ALL SURFACES SHALL BE RESTORED TO THEIR PRE-DAMAGE CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.

D. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

E. ALL DETAILS INDICATE MINIMUM INSTALLATION REQUIREMENTS. IF THE MANUFACTURERS' STANDARDS DETAILS ARE MORE STRINGENT, IN THE OPINION OF THE ARCHITECT, THEY SHALL GOVERN. IF THE DETAILS SHOWN ARE MORE STRINGENT THAN THE MANUFACTURERS' STANDARD DETAILS, IN THE OPINION OF THE ARCHITECT, THEY SHALL GOVERN. REGARDLESS OF THE MANUFACTURERS' WILLINGNESS TO WARRANT / GUARANTY THE LESSER DETAIL BY SUBMITTING A BID FOR THIS PROJECT, IT IS UNDERSTOOD THAT THE CONTRACTOR AND MANUFACTURER AGREE TO WARRANT / GUARANTY THE DETAILS SHOWN, THE ARCHITECT MAY, BUT IS NOT OBLIGATED TO, ACCEPT ANY PROPOSED CHANGES TO THE DETAILS SHOWN.

F. THE CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIAL FOR A COMPLETE AND WATERTIGHT JOB WHICH IS FULLY WARRANTED / GUARANTEED BY THE MANUFACTURER AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. ANY DETAILS OR WORK REQUIRED FOR A COMPLETE JOB, BUT NOT SHOWN OR SPECIFIED BY THE CONTRACT DOCUMENTS, SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS AND REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER. ANY ADDITIONAL LABOR AND MATERIAL REQUIRED TO MEET MANUFACTURERS' WARRANTY / GUARANTY REQUIREMENTS, BUT NOT INDICATED BY THE CONTRACT DOCUMENTS, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

G. ALL REFINISHING REQUIREMENTS, SHALL INCLUDE THE FOLLOWING: REMOVE ALL RUST FROM METAL SURFACES AND APPLY COAT OF RUST INHIBITOR. REPLACE ALL METAL COMPONENTS WHICH ARE CORRODED THROUGH THE METAL. PRESSURE CLEAN ALL EXPOSED SURFACES. SECURE ALL LOOSE COMPONENTS WITH STAINLESS STEEL FASTENERS WHICH EXTEND INTO SOLID SUBSTRATE BELOW OR BEHIND COMPONENT BEING SECURED. CONCEAL FASTENER HEADS WITH MATERIAL WHICH MATCHES ADJACENT SURFACES. REPAINT ALL EXPOSED SURFACES TO MATCH EXISTING FINISHES.

H. LAYDOWN/STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.

I. PRIOR TO PERFORMING WORK, CONTRACTOR SHALL INSPECT WORK SITE AND EXISTING CONSTRUCTION FOR POTENTIAL SAFETY HAZARDS. PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT COURSE OF WORK. COMPLY WITH OSHA REQUIREMENTS.

J. BUILDING ACCESS IS RESTRICTED AND ALLOWED ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK. COORDINATE ANY REQUIRED ACCESS WITH THE OWNER.

K. SITE SHALL BE CLEANED AND SECURED ON A DAILY BASIS AT THE END OF EACH WORK SHIFT.

L. ALL COMPONENTS AND ASSEMBLIES SHALL MEET OR EXCEED UL 790 STANDARDS FOR A CLASS A FIRE RATING.

M. THE FINISH OF ALL NEW COMPONENTS OR REPAIRED COMPONENTS SHALL MATCH ALL CHARACTERISTICS OF THE EXISTING COMPONENTS INCLUDING TEXTURE AND ALL OTHER QUALITIES.

N. PATCH ALL FINISHES AFFECTED BY THE WORK OF THIS PROJECT AS REQUIRED TO MATCH ALL CHARACTERISTICS OF EXISTING UNDAMAGED FINISHES.

BUILDING PROTECTION NOTES

A. THE BUILDING WILL REMAIN FUNCTIONAL THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTENTS AND OCCUPANTS.

B. THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAYS CONSTRUCTION AND WHEN INCLEMENT WEATHER THREATENS.

C. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE BUILDING, EXTERIOR AND GROUNDS, INCLUDING GRASS, PLANTS, TREES, SHRUBS, OTHER LANDSCAPING, AND ALL PROMENADE CONCRETE WITHIN THE PROJECT BOUNDARIES.

D. ANY SURFACES STAINED, MARKED, MARRED, OR DAMAGED BY THE CONTRACTOR SHALL BE RETURNED TO ORIGINAL CONDITION AND TO MATCH ADJACENT SURFACES.

F. THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS OF THE SITE OR FACILITY TO ORIGINAL CONDITION.

G. THE SEQUENCE OF WORK SHALL MINIMIZE CONSTRUCTION TRAFFIC ON THE NEW WORK.

EXTERIOR RESTORATION NOTES

A. FOR PURPOSES OF THIS PROJECT, REMOVE SHALL MEAN REMOVE AND DISPOSE OF IN AN APPROVED AND LEGAL MANNER.

B. CONTRACTOR SHALL VERIFY THE TOTAL NUMBER OF DETAIL CONDITIONS IN THE FIELD AND PERFORM NEW WORK IN ACCORDANCE WITH THE DETAIL REFERENCED OR THOSE WHICH ARE SIMILAR. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD.

C. GENERAL DEMOLITION SCOPE: REMOVE ALL DESIGNATED DETERIORATED WALL COMPONENTS REQUIRED FOR THE EXTERIOR RESTORATION PROJECT.

D. PROVIDE AND INSTALL TEMPORARY ROOFING, NIGHT SEALS, AND FLASHING AS REQUIRED TO PROTECT EXISTING BUILDING INTERIOR FROM DAMAGE.

E. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM CONSTRUCTION SITE AND DISPOSE OF IN A LEGAL MANNER.

F. DAMAGED OR DETERIORATED SUBSTRATE UNCOVERED DURING DEMOLITION SHALL BE DOCUMENTED BY THE CONTRACTOR, REPORTED TO THE OWNER IN WRITING.

G. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING ROOF AND WALL MATERIALS AND METHODS OF INSTALLATION BEFORE THE START OF WORK. ANY DISCREPANCIES BETWEEN THE INFORMATION PROVIDED BY THE CONTRACT DOCUMENTS AND CONDITIONS ENCOUNTERED BY THE CONTRACTOR BEFORE THE START OF WORK SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL NOT BE ENTITLED TO COMPENSATION FOR ANY ADDITIONAL LABOR OR MATERIALS DUE TO DIFFERING EXISTING CONDITIONS WHICH ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO THE START OF WORK.

H. THE CONTRACTOR SHALL REMOVE ALL EXISTING EXTERIOR CONDUIT, PIPING, LIGHTING FIXTURES, LIGHTNING PROTECTION SYSTEMS, FACADE RESTORATION AND ANY OTHER ITEMS WHICH INTERFERE WITH THE INSTALLATION OF THE RECOVERY ROOF SYSTEM AND RELATED WORK. ALL SUCH EQUIPMENT AND ITEMS SHALL BE TEMPORARILY RE-ROUTED AS NECESSARY IF IT IS REQUIRED TO STAY IN SERVICE. ANY ITEMS NOT REQUIRED TO STAY IN SERVICE SHALL BE PROPERLY STORED BY THE CONTRACTOR AND REINSTALLED AT THE COMPLETION OF THE WORK. ALL WORK SHALL BE PERFORMED BY QUALIFIED, LICENSED CRAFTSMAN IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AT NO ADDITIONAL COST TO THE OWNER. ANY EXISTING WORK WHICH DOES NOT CONFORM TO APPLICABLE CURRENT CODES SHALL BE REPORTED TO THE OWNER IN WRITING PRIOR TO THE REMOVAL. INSTALL NEW OR EXISTING LIGHTNING PROTECTION COMPONENTS BY QUALIFIED, LICENSED LIGHTNING PROTECTION INSTALLER WITH MINIMUM 5 YEARS EXPERIENCE IN THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS IN ACCORDANCE WITH NFPA-780 AND ALL APPLICABLE BUILDING CODES.

I. ALL EXISTING DOWNSPOUTS AND DRAIN LINES SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF WORK. ANY DRAIN LINES FOUND TO BE CLOGGED OR RESTRICTED SHALL BE REPORTED TO THE OWNER IN WRITING BEFORE PROCEEDING WITH THE WORK. ANY DRAIN LINES FOUND TO BE CLOGGED OR RESTRICTED AFTER THE START OF WORK, WHICH WERE NOT REPORTED AS SUCH PRIOR TO THE START OF WORK, SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL DRAINS AND DOWNSPOUTS MUST BE KEPT OPEN AND FULLY FUNCTIONING DURING THE ENTIRE CONSTRUCTION PERIOD, WITH ANY CLOGS TO BE CLEANED OUT PROMPTLY.

J. ALL DEPICTED COMPONENTS ON DRAWINGS ARE NEW UNLESS IDENTIFIED AS EXISTING.

SCOPE OF WORK

0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:
1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TRANSITION AND TERMINATION FLASHINGS FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET AS.0 AND SPECIFICATION SECTION 07 01 50.61.

1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS AS.0. SEE SPECIFICATION SECTION 07 92 00.

1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET AS.0. SEE SPECIFICATION SECTION 07 92 00.

1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.

1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: REMOVE ALL PRE-EXISTING MINIMUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS (ROOF PANEL MANUFACTURER: FABRAL). INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT HANGERS, STRAPS AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F/AS.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:

2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-5 CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .050" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET AS.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:

3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:

4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT DOOR PERIMETERS.

4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:

5.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:

6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET AS.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:

7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFIT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPG AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFIT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.

7.2 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.

8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:

8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE, INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.

9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:

9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS, REMOVE ALL DEBRIS, SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DECOTHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4,

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENIER, FLORIDA
ROOFING AND EXTERIOR
RESTORATION PROJECT
PROJECT NUMBER: 22-012



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REVISIONS

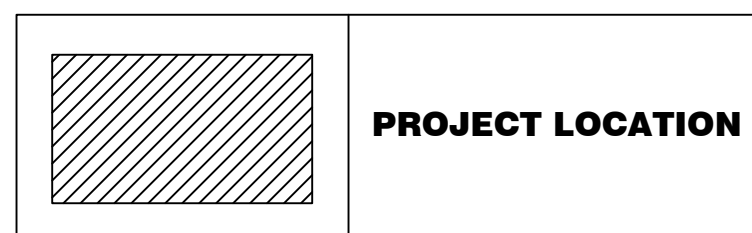
NUMBER	TYPE	DATE

DRAWN BY	JHH	PROJECT NUMBER	22-012
APPROVED BY	JDA	PHASE	BID DOCUMENTS
ENGINEER	NHR	DATE	MAY 17, 2022

GENERAL NOTES AND
SCOPE OF WORK

PLOT: N.T.S. SHEET **A1.2**

LEGEND

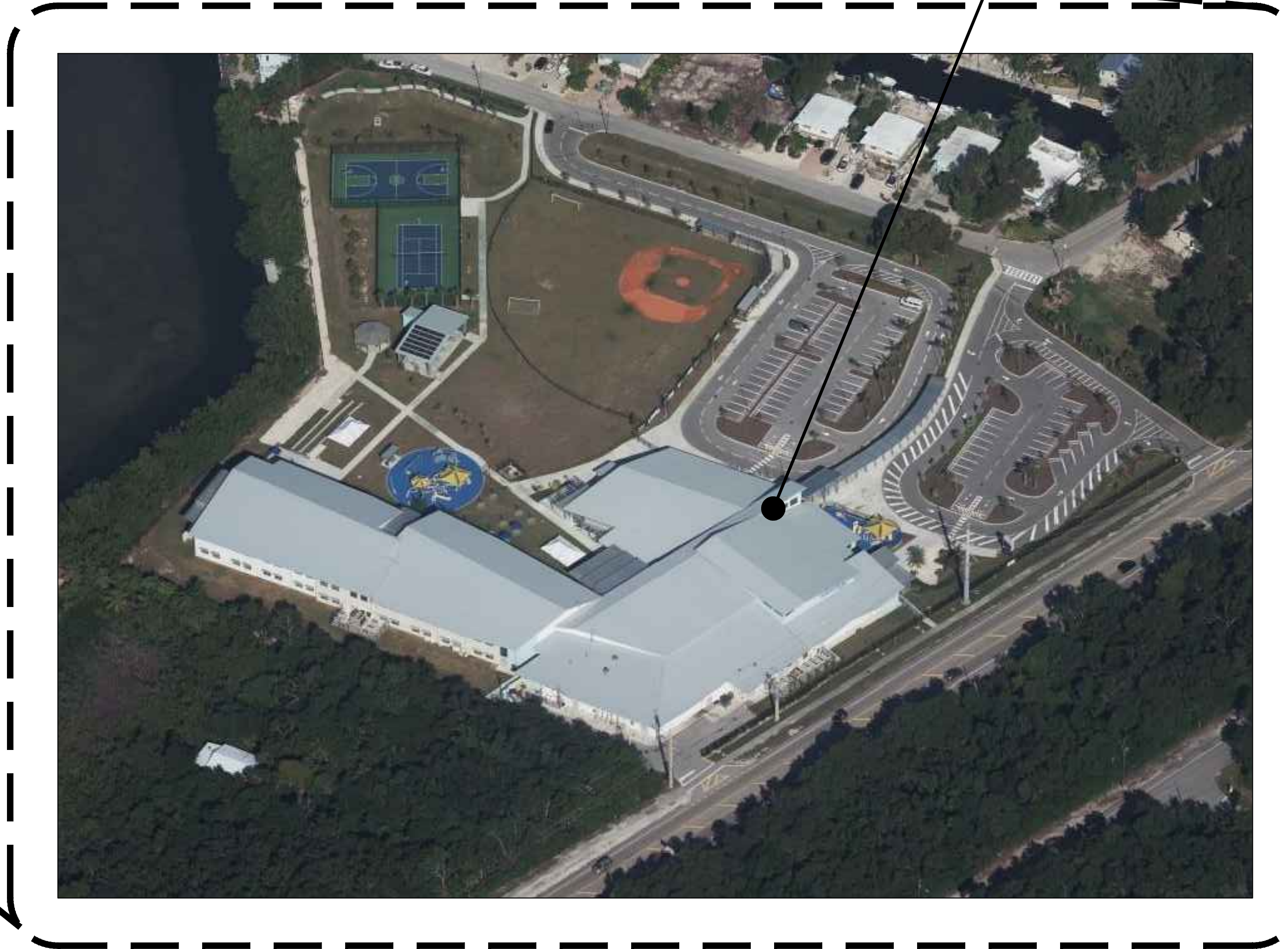


CONSTRUCTION SITE NOTES:

1. **CONSTRUCTION LIMITS:** LIMITS ARE WITHIN 10 FEET MAXIMUM OF BUILDINGS EXCEPT WHERE OTHERWISE INDICATED.
2. **CONSTRUCTION STAGING AREA:** FENCE PERIMETER USING 8'-0" HIGH CHAIN LINK FENCE. COORDINATE IN THE FIELD WITH REPRESENTATIVE FROM THE OWNER.
3. **ACCESSIBLE PATH:** THE ACCESSIBLE PATH DESIGNATED MUST BE LEFT UNIMPEDED THROUGHOUT THE CONSTRUCTION. PROVIDE BARRIERS BETWEEN THE CONSTRUCTION AND THE ACCESSIBLE PATH AS NECESSARY TO PROVIDE SAFE ACCESS.
4. **SAFETY PLAN:** CONTRACTOR TO SUBMIT SAFETY PLAN WHICH CLEARLY DELINEATES AREAS FOR CONSTRUCTION, SAFETY BARRIERS, EXITS, CONSTRUCTION TRAFFIC DURING VARIOUS PHASES OF THE PROJECT AND WHEN CONDITIONS CHANGE. CONTRACTOR TO CONFORM WITH REQUIREMENTS IN FBC-B 107.3.5, FBC-B 449, FFPC 1-16.1 AND NFPA 241.



SEE ROOF PLANS ON SHEETS A2.1 THROUGH A2.3



OVERALL SITE PLAN
SCALE: NTS

PLANTATION KEY SCHOOL SITE PLAN
SCALE: NTS

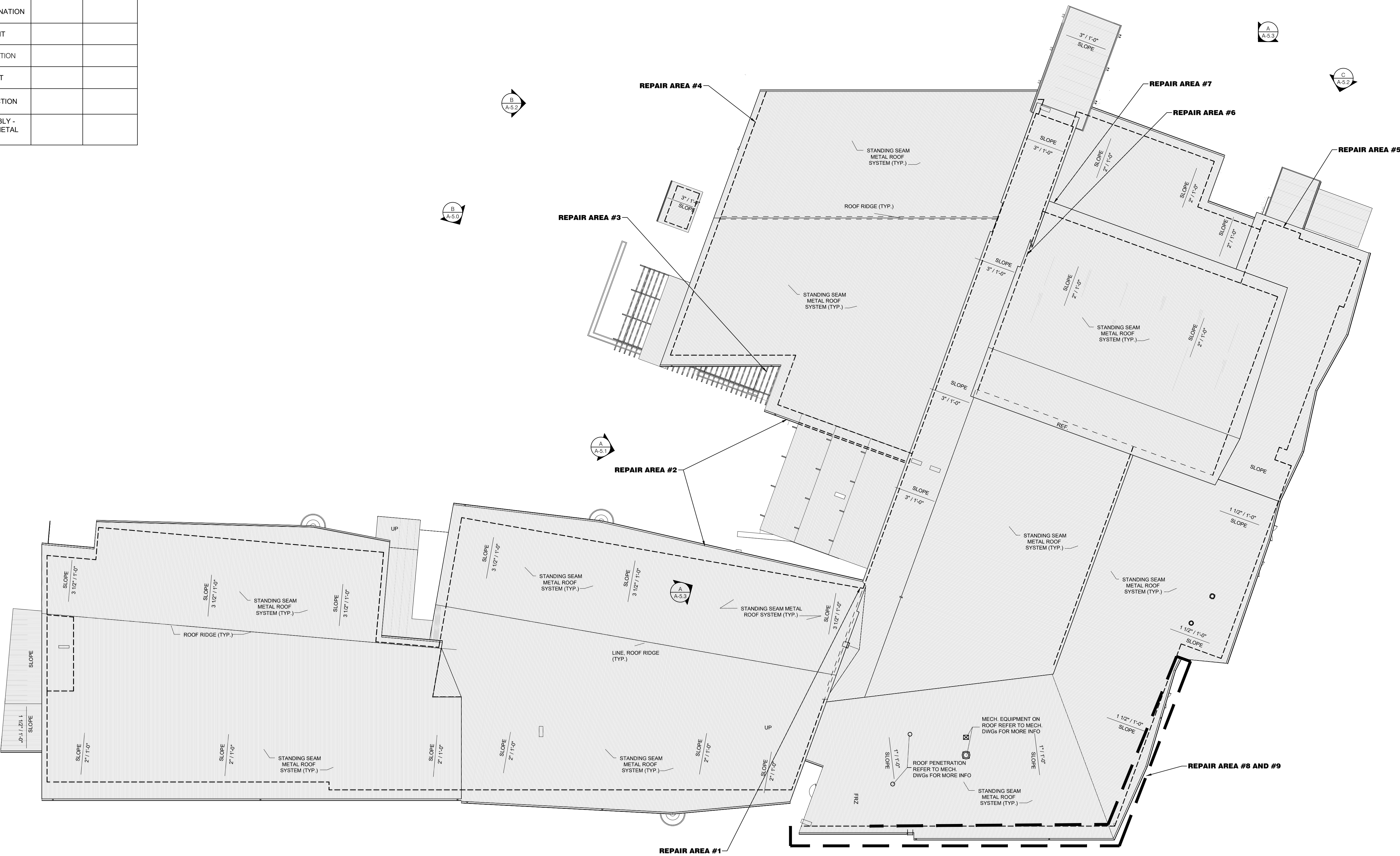
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NUMBER	TYPE	DATE

DRAWN BY: JHH PROJECT NUMBER: 22-012
 APPROVED BY: JDA PHASE: BID DOCUMENTS
 ENGINEER: NHR DATE: MAY 17, 2022

LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SCOPE OF WORK ITEM
---	WALL BELOW ROOF		
▬	PERIMETER EDGE		
⊕	DETAIL DESIGNATION		
⊕	ELEVATION DESIGNATION		
REPAIR	REPAIR LOCATION DESIGNATION		
SLOPE	ROOF SLOPE DESIGNATION		
○	PLUMBING VENT		
○	CONDUIT PENETRATION		
○	EXHAUST VENT		
⊗	LIGHTING PROTECTION		
▨	ROOFING ASSEMBLY - STANDING SEAM METAL DECK		



1
A-2.1
EXISTING CONDITIONS ROOF PLAN
SCALE: 1" = 20'-0"



SCOPE OF WORK:
0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEYS SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:
1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TRANSITION AND TERMINATION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.61.
1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.
1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.
1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.
1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: INSTALL 20'-0" OF PRE-PANDED 6061 ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS (ROOF PANEL MANUFACTURER: FABRAL). INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT HANGERS, STRAPS, AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F/A5.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:
2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS, INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-S CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:
3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:
4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS, REMOVE PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT DOOR PERIMETERS.
4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:
5.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:
6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:
7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFITT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPG AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFITT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.
7.2 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.

8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:
8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE, INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.

9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:
9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS, REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SILKASTIC (DECOTHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A-5.4 AND D/A-5.4.

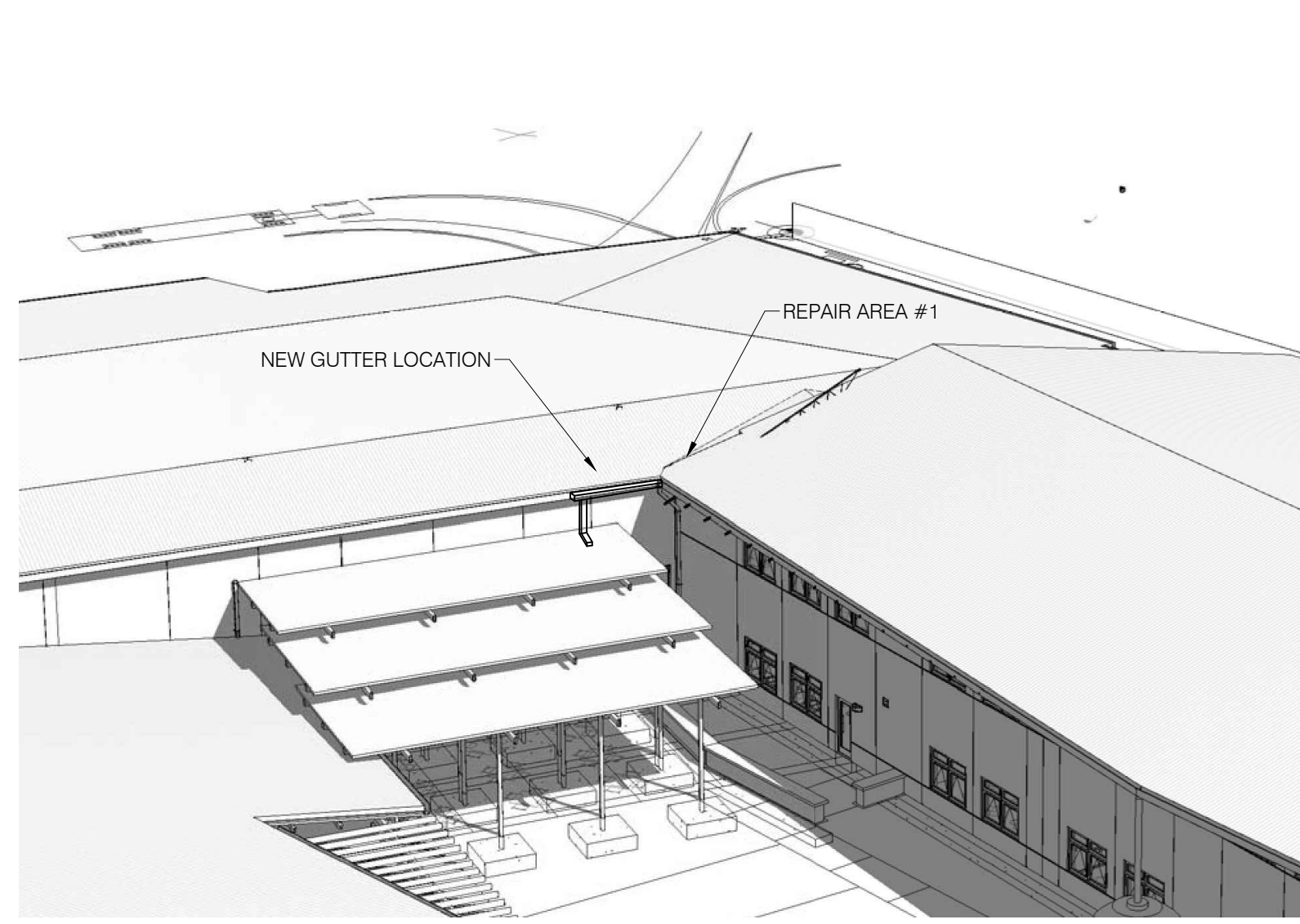
BID DOCUMENTS
 PLANTATION KEYS HIGH SCHOOL
 TAVENNER, FLORIDA
 ROOFING AND EXTERIOR
 RESTORATION PROJECT
 PROJECT NUMBER: 22-012

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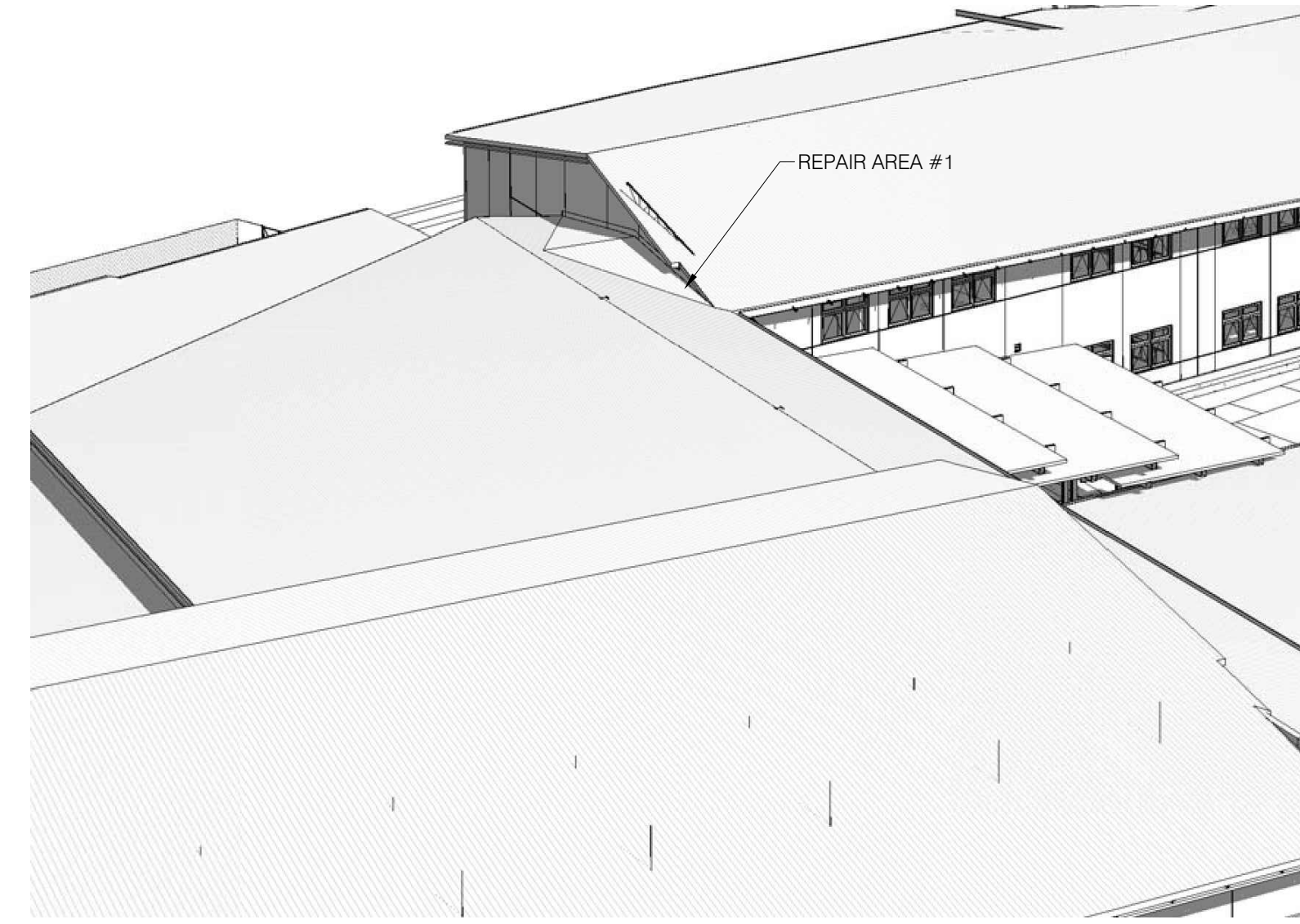
REVISIONS		
NUMBER	TYPE	DATE

DRAWN BY: JPH PROJECT NUMBER: 22-012
 APPROVED BY: JDA PHASE: BID DOCUMENTS
 ENGINEER: NHR DATE: MAY 17, 2022

EXISTING CONDITIONS
 ROOF PLAN
 A2.1
 PLOT: N.T.S. SHEET



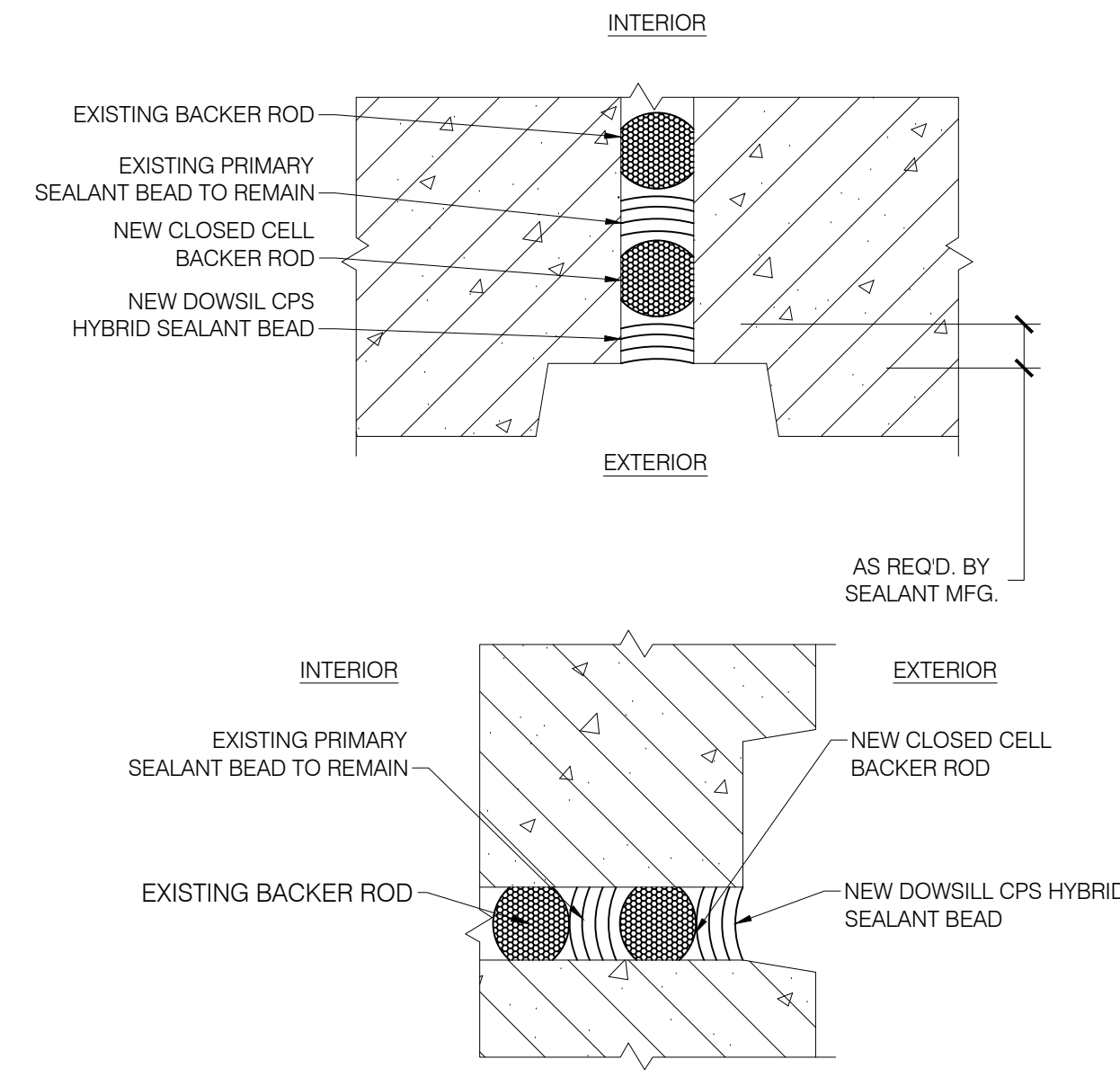
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SCALE: NTS



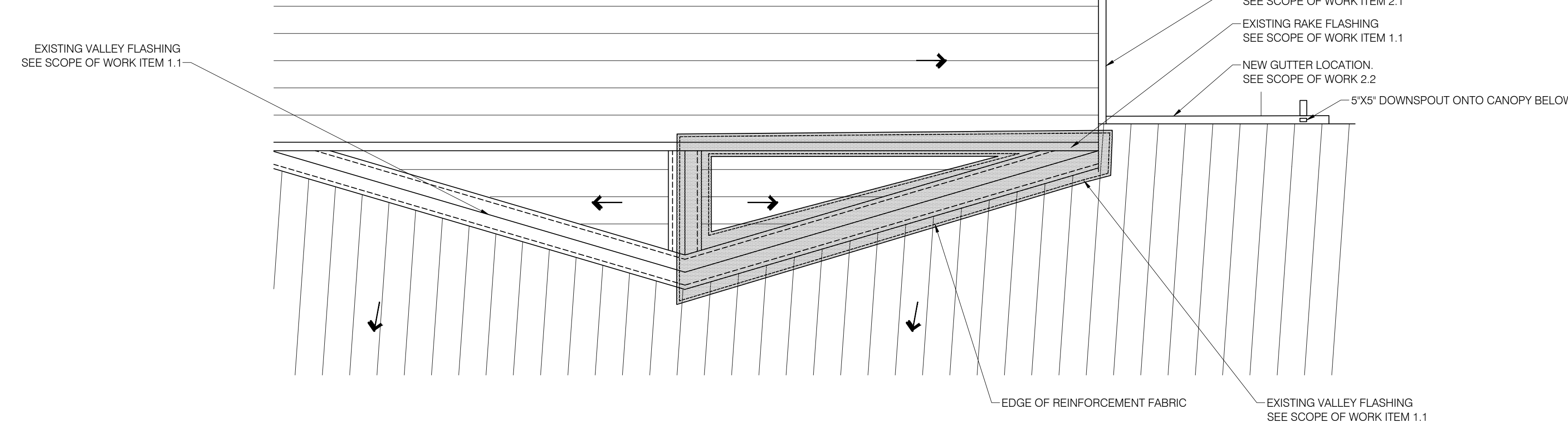
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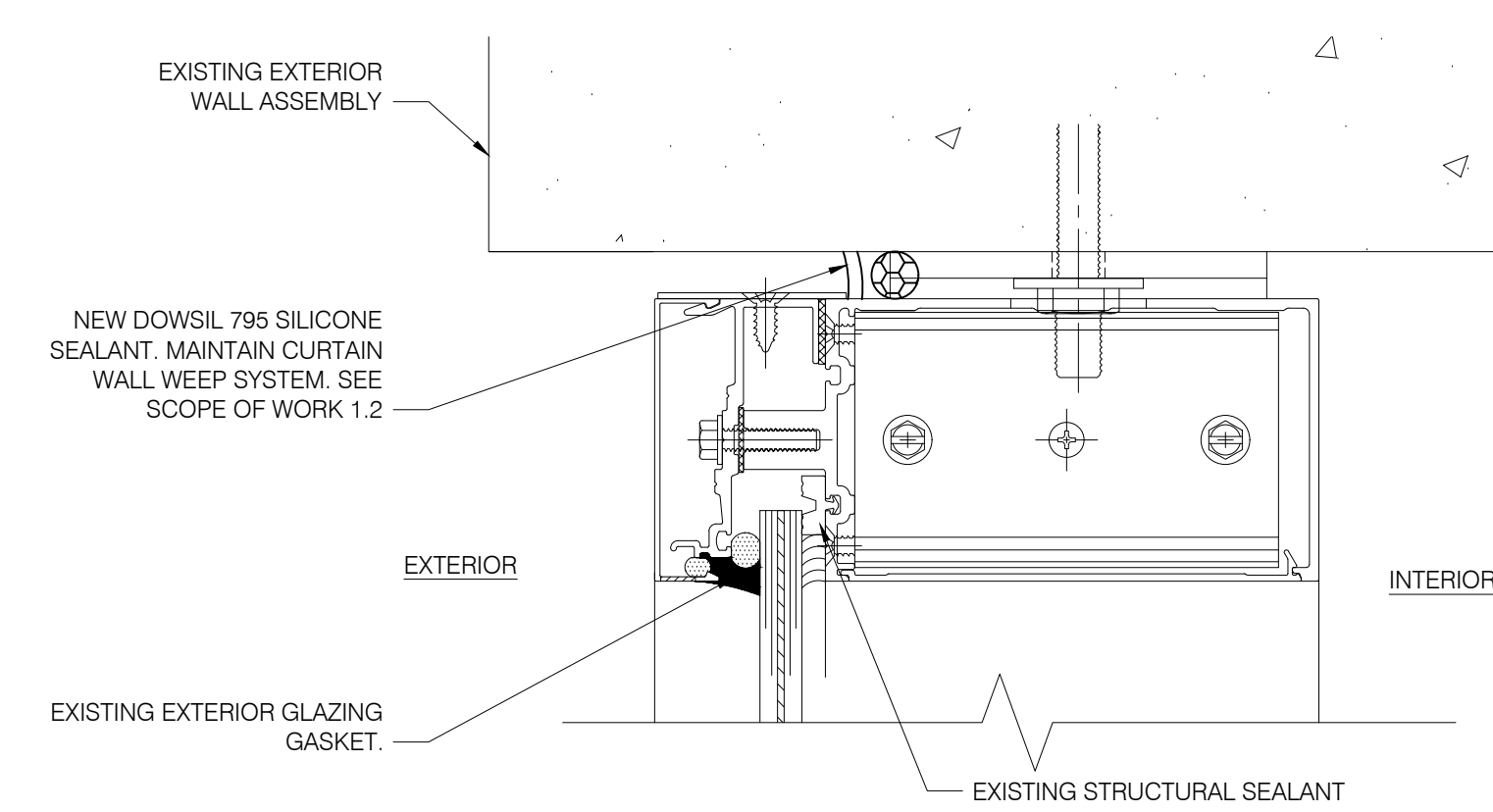
C PHOTOGRAPH OF REPAIR AREA #1
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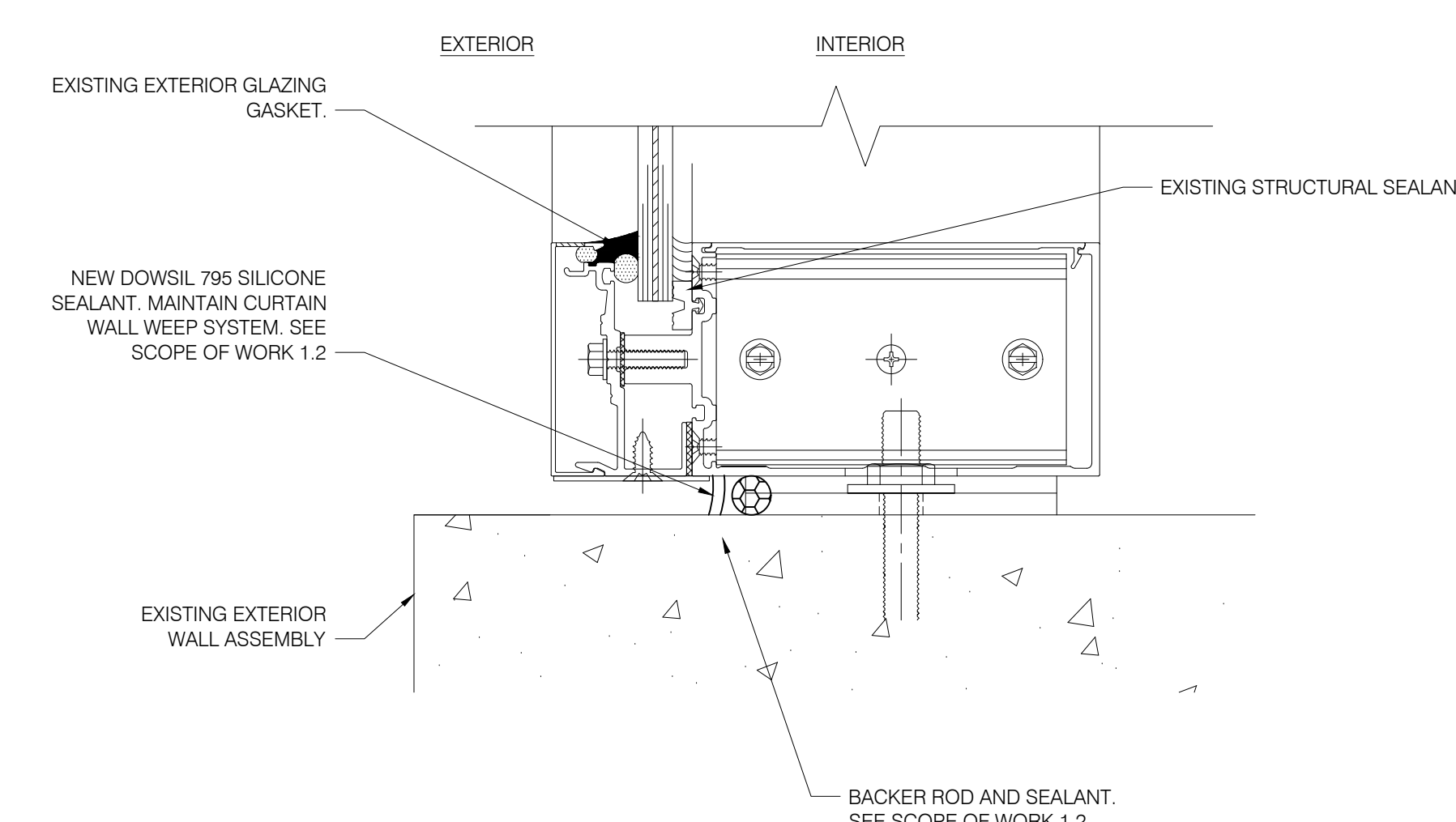
D NEW SEALANT AT CAFETERIA WALL PANEL JOINT
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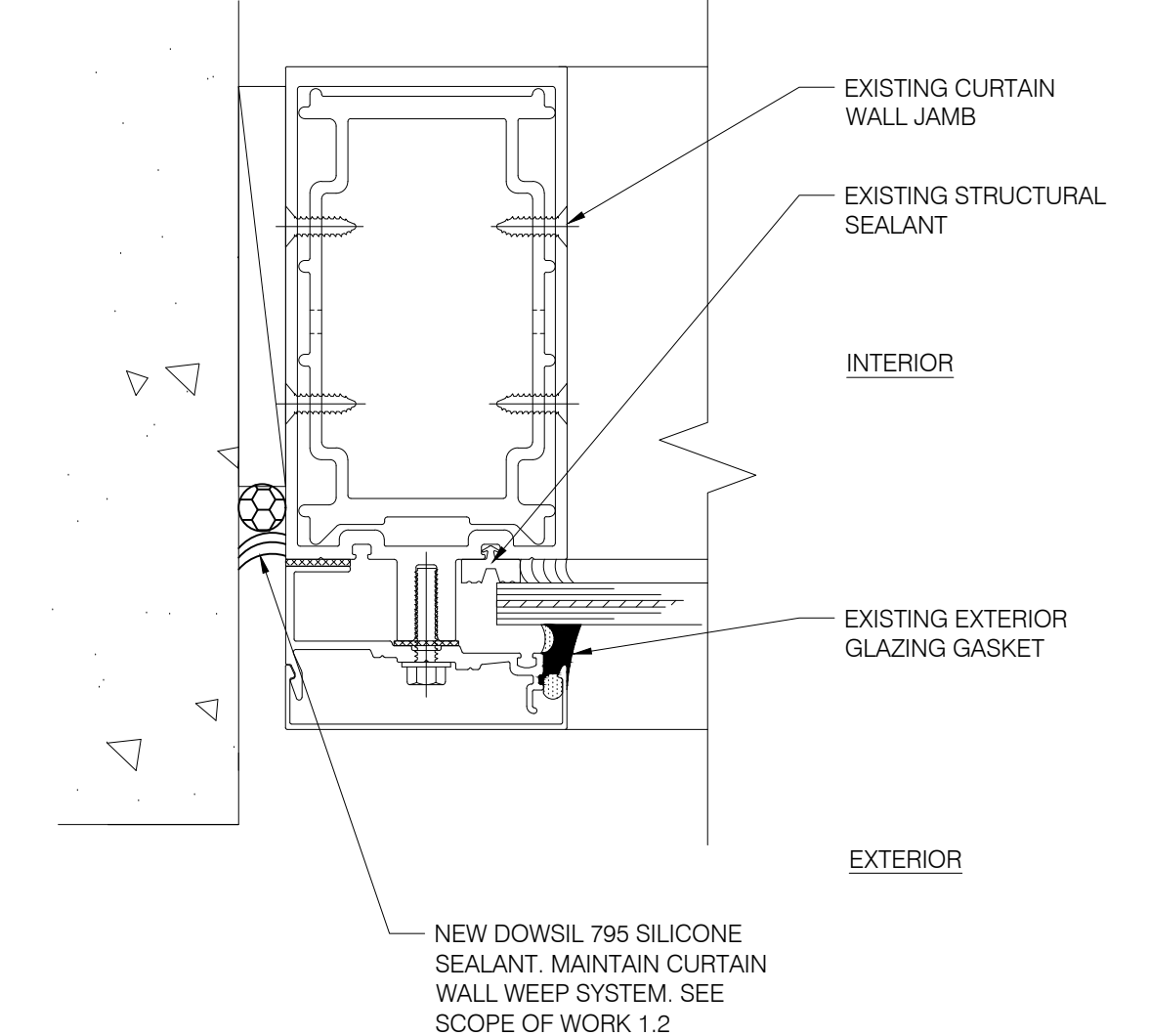
E PLAN DETAIL
SCALE: NTS



F TYPICAL SECTION AT CURTAIN WALL HEAD
SCALE: NTS



G TYPICAL SECTION AT CURTAIN WALL SILL
SCALE: NTS



H TYPICAL SECTION AT CURTAIN WALL JAMB
SCALE: NTS

- SCOPE OF WORK:**
- 0.0 GENERAL:** THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.
- 1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:**
- 1.1 ROOF FLASHING WATERPROOFING:** AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANEL SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. FLASHING INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.61.
- 1.2 CURTAIN WALL RESTORATION:** AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.
- 1.3 PRECAST CONCRETE SEALANT REPLACEMENT:** REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.
- 1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT:** REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.
- 1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW:** INSTALL 20'-0" OF PRE-PAINTED, .040" ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS ROOF PANEL MANUFACTURER FABRIL. INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT, HANGERS, STRAPS AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F1A5.1.
- 2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:**
- 2.1 GUTTER RAIN DIVERTER INSTALLATION:** AT EXISTING CAFETERIA COURTYARD GUTTERS. INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-5 CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.
- 3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:**
- 3.1 DOOR THRESHOLD RESTORATION:** REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
- 3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS:** INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.
- 4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:**
- 4.1 STOREFRONT DOOR FRAME RESTORATION:** AT DESIGNATED DOOR LOCATIONS. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT PERIMETERS.
- 4.2 DOOR THRESHOLD RESTORATION:** REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
- 4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS:** INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.
- 5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:**
- 5.1 DOOR THRESHOLD RESTORATION:** REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
- 6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:**
- 6.1 ROOF FLASHING WATERPROOFING:** AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANEL SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.
- 7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:**
- 7.1 SOUTH CLERESTORY GYM WALL:** TEMPORARILY REMOVE EXISTING METAL SOFFITT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPG AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFITT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.
- 7.2 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT:** REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.
- 8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:**
- 8.1 DOWNSPOUT INSTALLATION:** AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE. INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.
- 9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:**
- 9.1 GUTTER METAL TO METAL JOINT WATERPROOFING:** AT METAL PANEL ROOF GUTTERS. REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DICOETHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A5.4 AND D/A-5.4.

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENNER, FLORIDA
ROOFING AND EXTERIOR
RESTORATION PROJECT
PROJECT NUMBER: 22-012

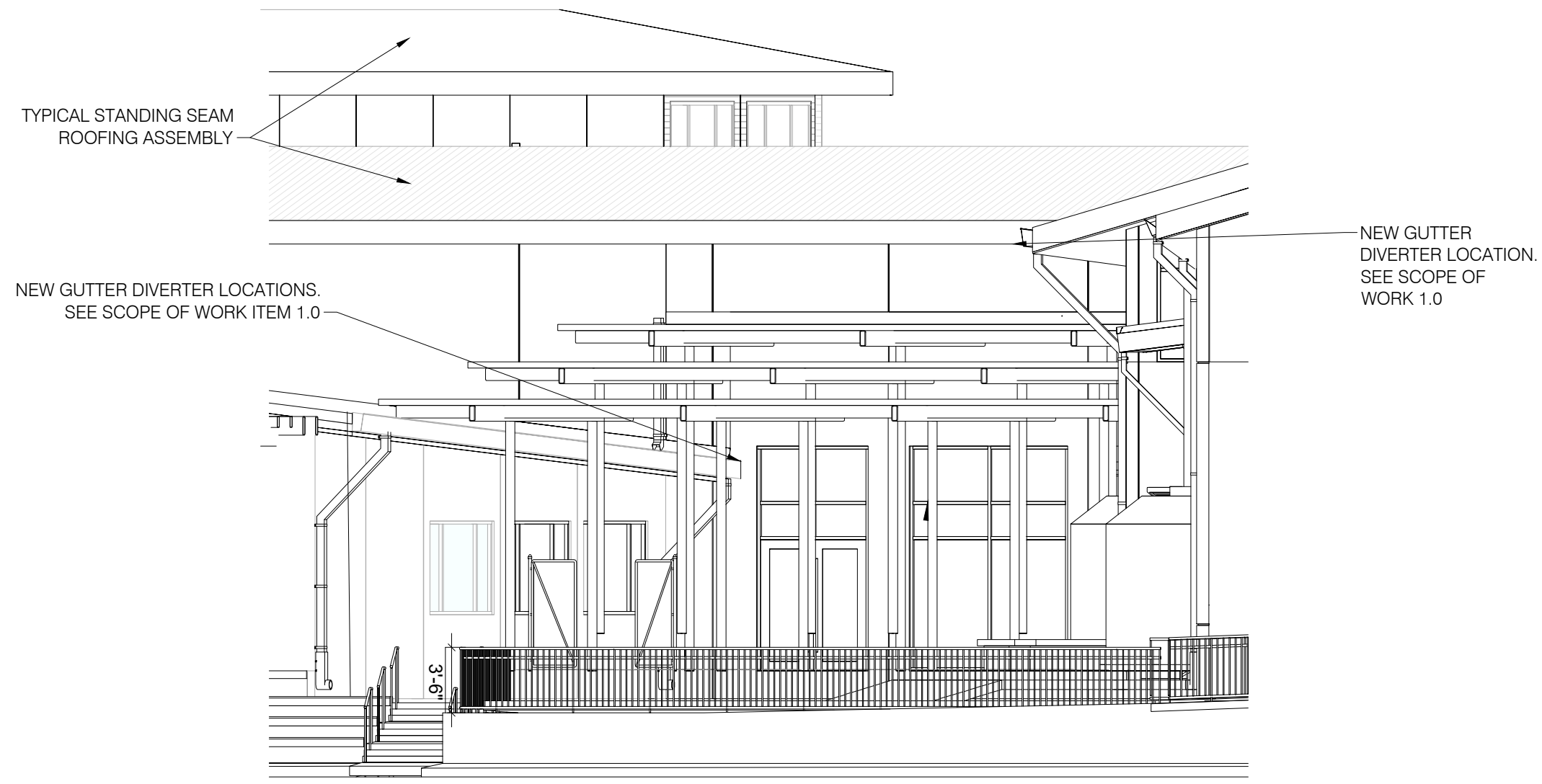
JAY AMMON ARCHITECT, INC.
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(407) 333-1977 • FAX: (407) 333-4686 • E-MAIL: JAY@JAYAMMON.COM

REVISIONS		
NUMBER	TYPE	DATE

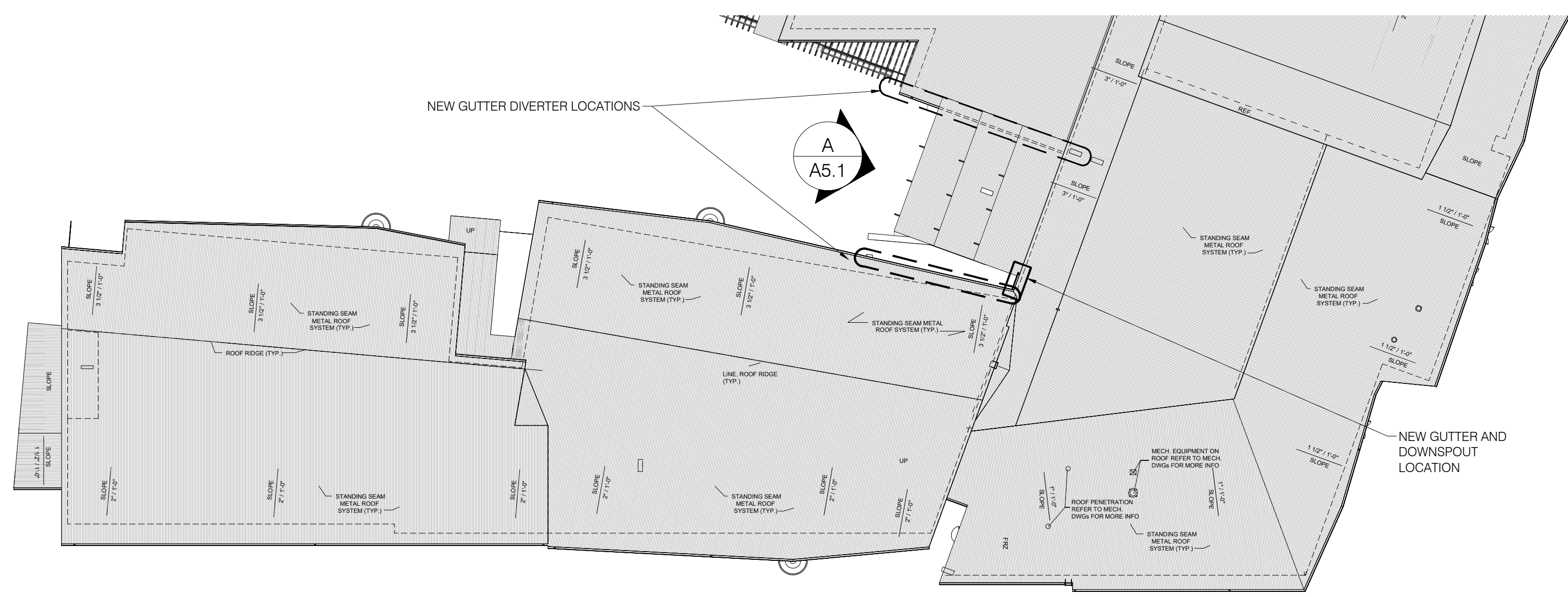
DRAWN BY: J.H.H. PROJECT NUMBER: 22-012
APPROVED BY: J.P.A. PHASE: BID DOCUMENTS
ENGINEER: N.H.R. DATE: MAY 17, 2022

BUILDING ENVELOPE
REPAIR #1
A5.0

PLOT: SHEET



A ELEVATION OF AREA OF WORK
A5.1 SCALE: NTS



B ENLARGED ROOF PLAN AT AREA OF WORK
A5.1 SCALE: NTS



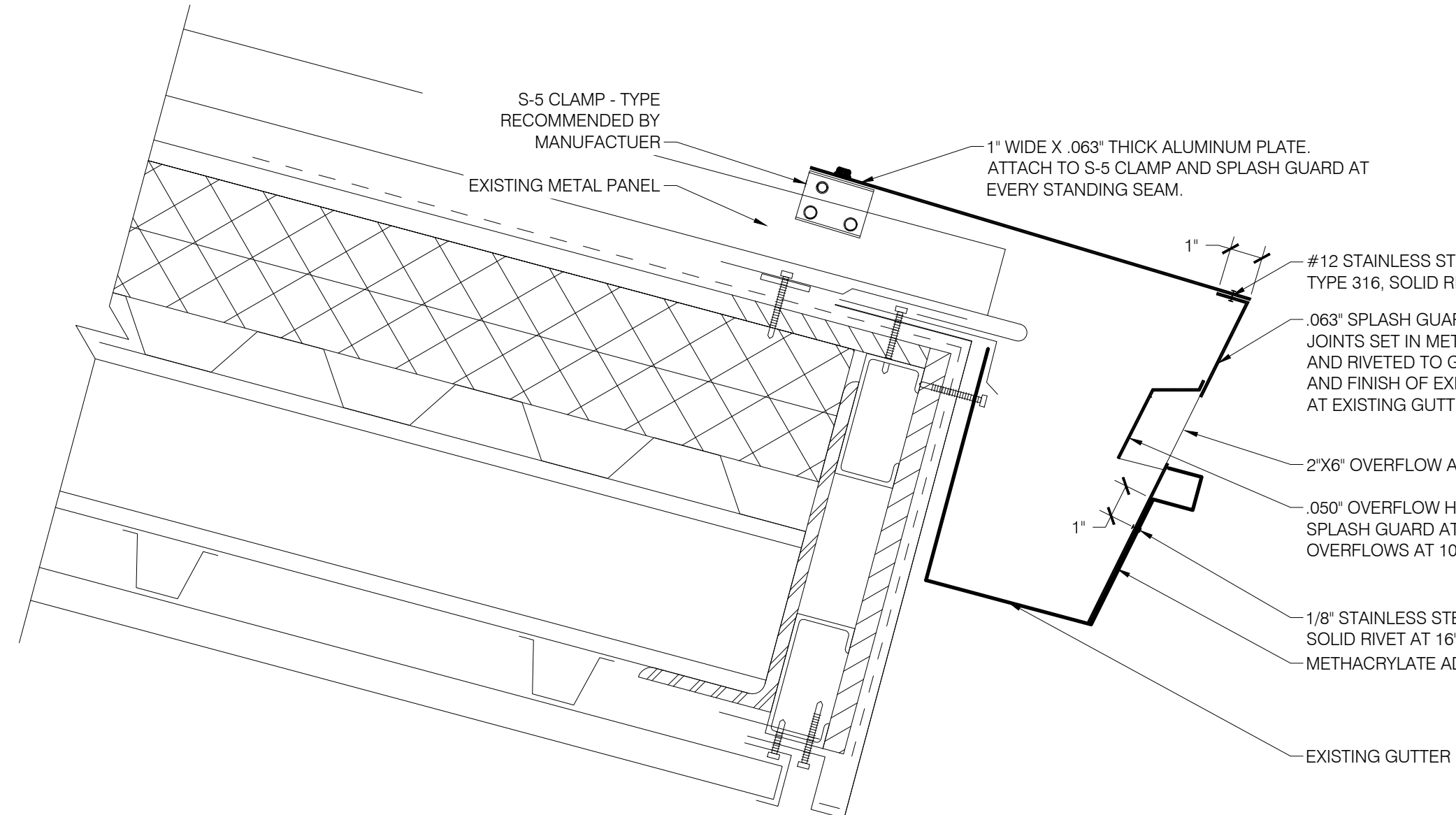
C BUILDING ENVELOPE REPAIR ITEM #2 PHOTOGRAPH
A5.1 SCALE: NTS



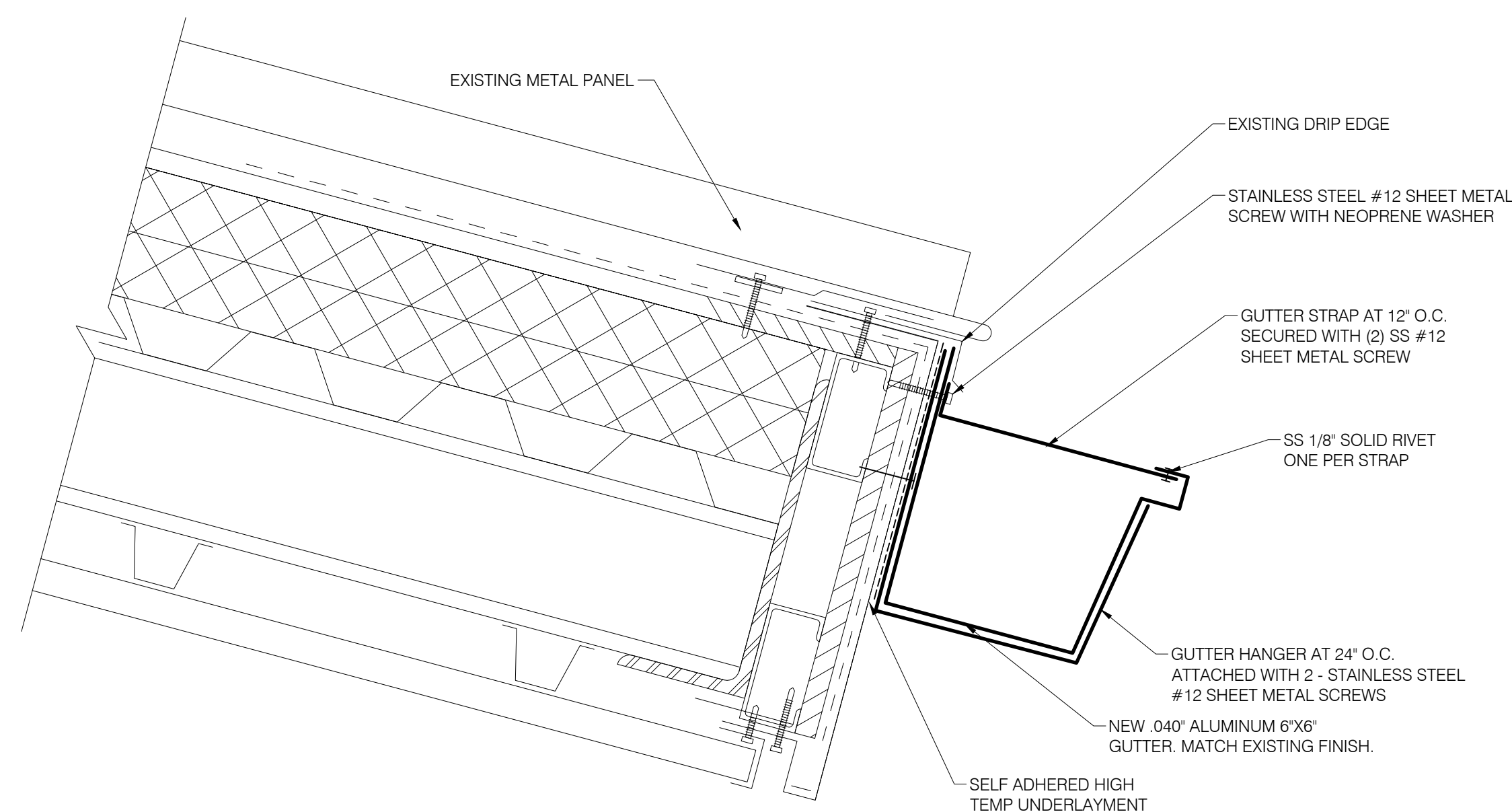
E BUILDING ENVELOPE REPAIR ITEM #2 PHOTOGRAPH
A5.1 SCALE: NTS

NOTES:

A. SEAL ALL FASTENERS AND STRAPS THROUGH SPLASH GUARD WITHIN GUTTER.



D GUTTER DIVERTER DETAIL
A5.1 SCALE: NTS



F NEW GUTTER DETAIL
A5.1 SCALE: NTS

SCOPE OF WORK:

0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDING THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:

1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.0.

1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.4 SOFFIT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.

1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: INSTALL 20'-0" OF PRE-PAINTED .040" ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS ROOF PANEL MANUFACTURER. FABRIL. INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT, HANGERS, STRAPS AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F/A5.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:

2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS. INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-5 CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:

3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:

4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT DOOR PERIMETERS.

4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:

5.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:

6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:

7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFIT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPG AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFIT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.

7.2 SOFFIT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.

8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:

8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE. INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.

9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:

9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS. REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DICOETHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A5.4 AND D/A-5.4.

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENNER, FLORIDA
ROOFING AND EXTERIOR RESTORATION PROJECT
PROJECT NUMBER: 22-012

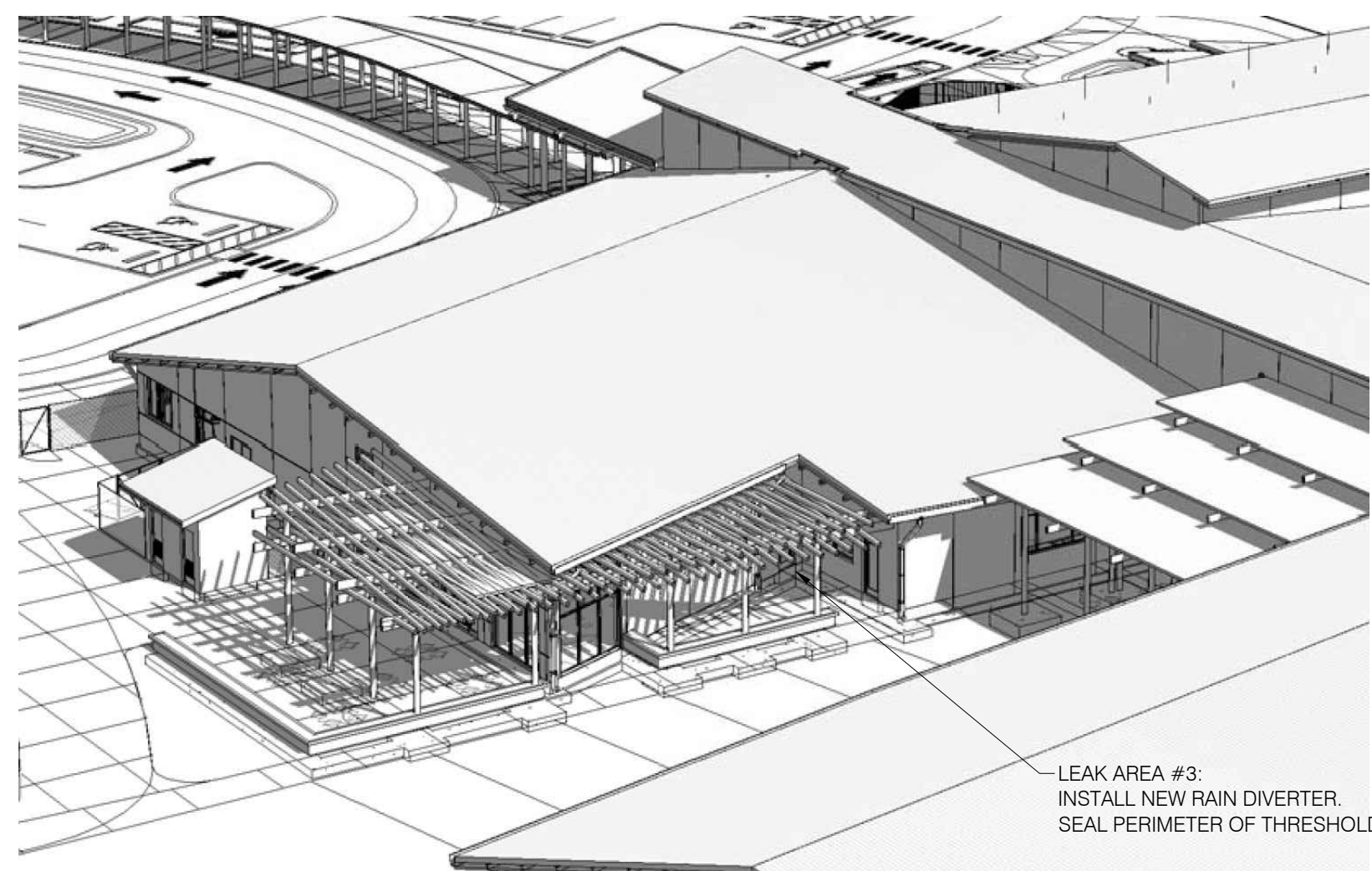
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REVISIONS		
NUMBER	TYPE	DATE

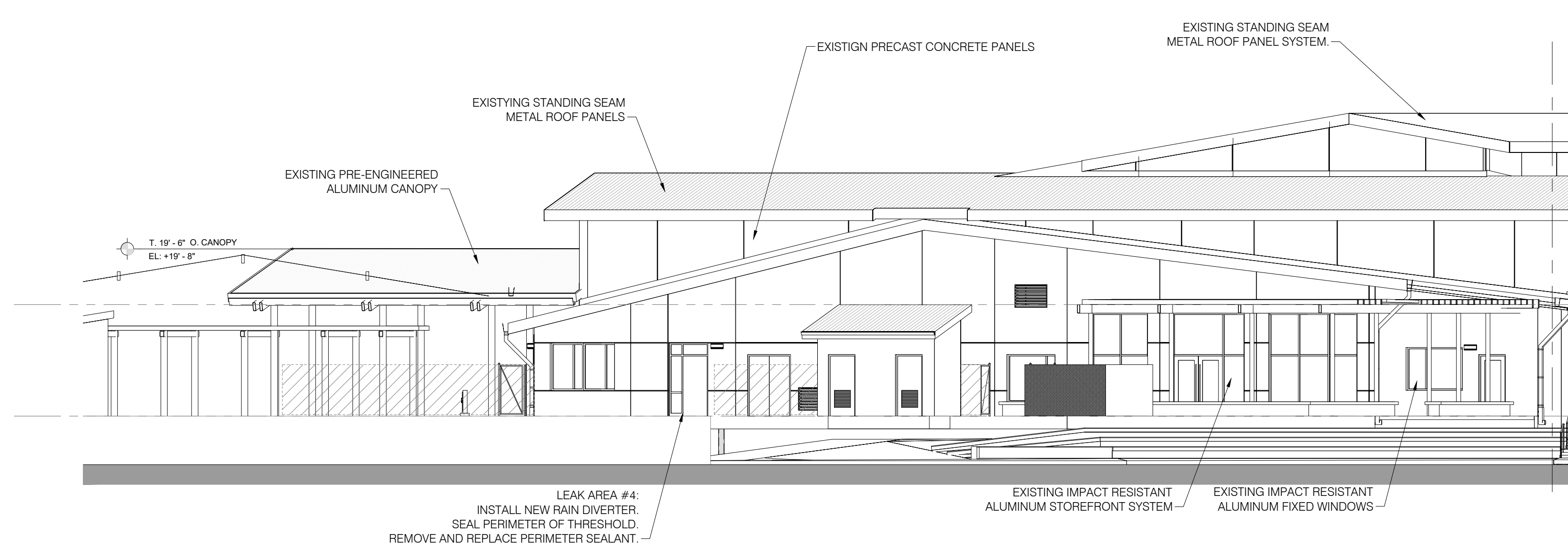
DRAWN BY: JHH PROJECT NUMBER: 22-012
APPROVED BY: JPA PHASE: BID DOCUMENTS
ENGINEER: JHH DATE: MAY 17, 2022

BUILDING ENVELOPE REPAIR #2
A5.1

PLOT: SHEET



A SOUTH WEST ISOMETRIC VIEW OF MEDIA CENTER
SCALE: NTS



B PARTIAL WEST ELEVATION
SCALE: NTS

SCOPE OF WORK:
0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:
1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.61.
1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS CELL. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.
1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.

1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: INSTALL 20-0 OF PRE-PAINTED .040" ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS ROOF PANEL MANUFACTURER. FABRIL. INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT, HANGERS, STRAPS AND DOWNSPOUT STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL FJAS.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:
2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS. INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-S CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:
3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.
3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

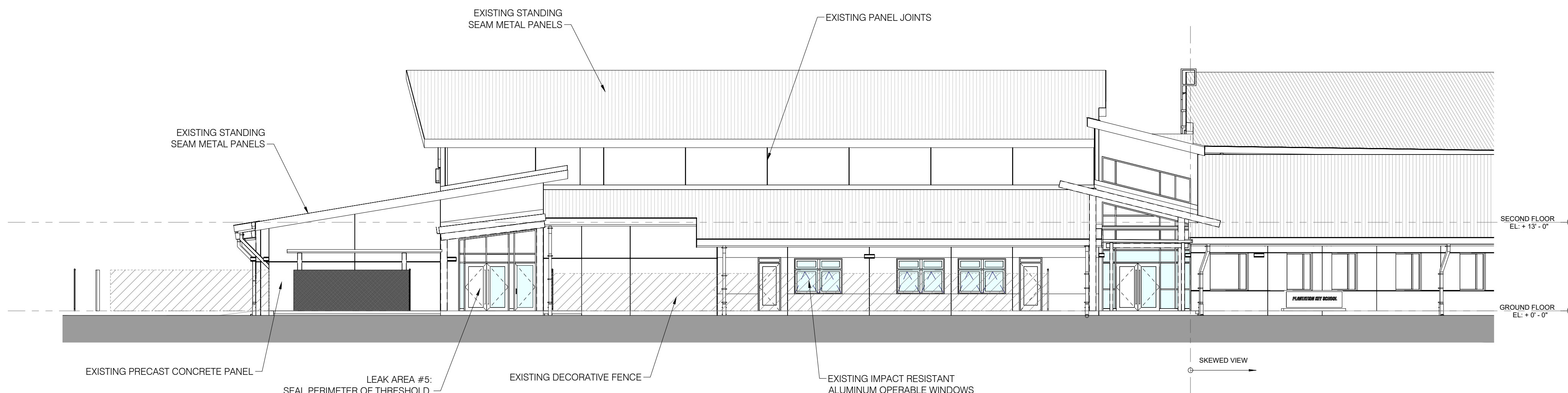
4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:
4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT PERIMETERS.
4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

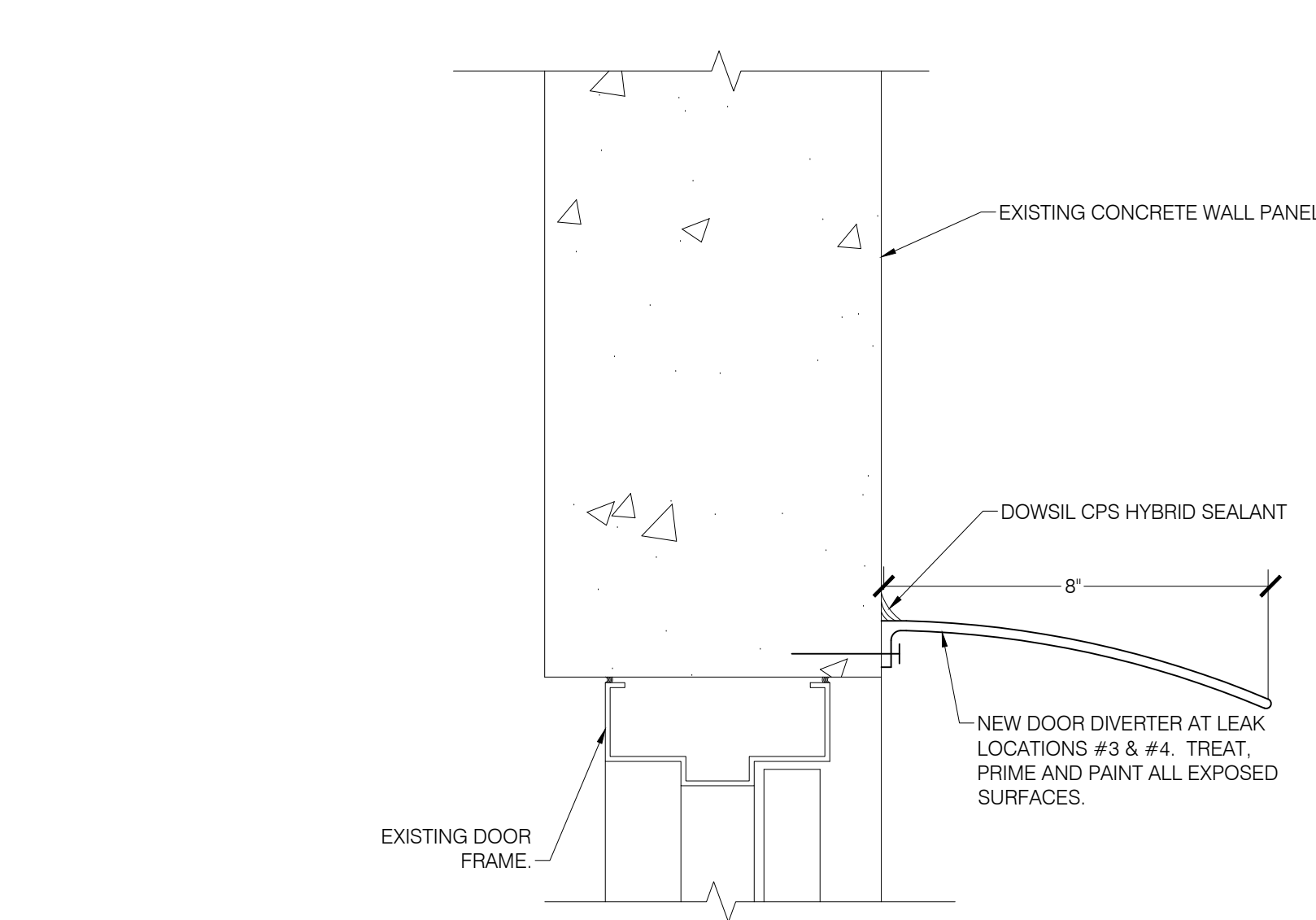
5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:
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6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:
6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:
7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFIT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS. REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPS AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFIT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.
7.2 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFIT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.

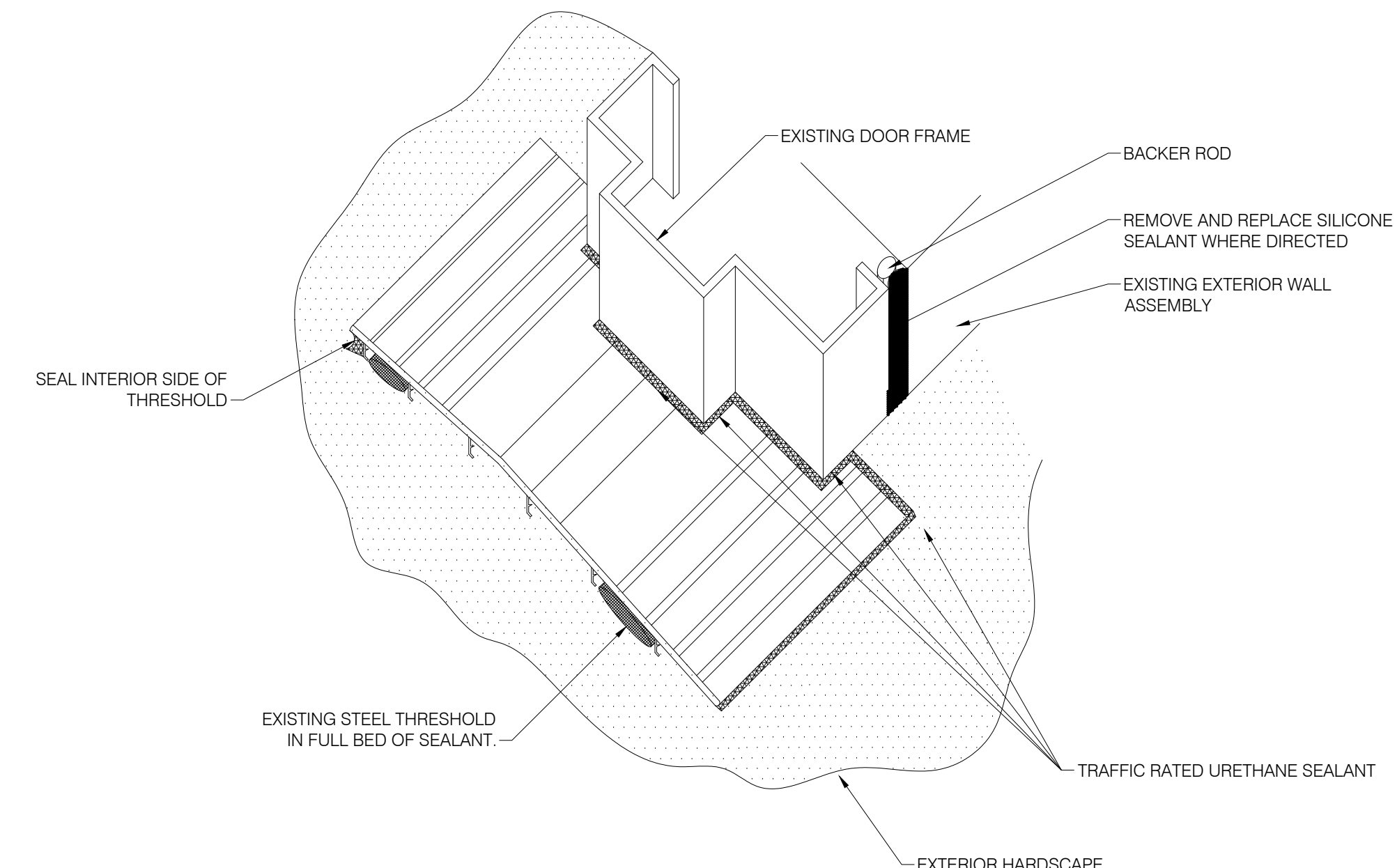
8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:
8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE. INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.
9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:
9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS. REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DICOETHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A5.4 AND D/A-5.4.



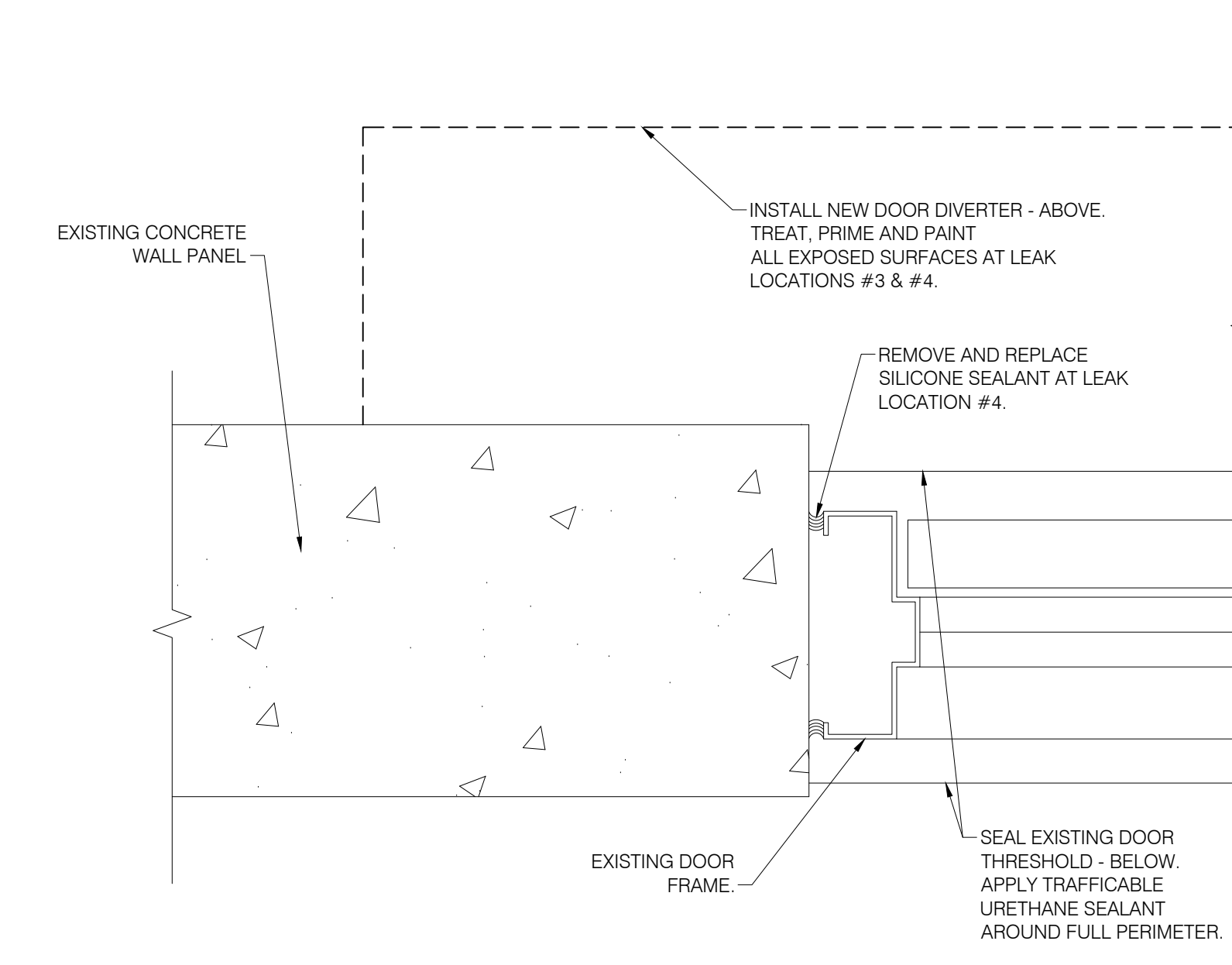
C PARTIAL NORTH ELEVATION
SCALE: NTS



D RAIN DIVERTER AT DOOR HEAD DETAIL
SCALE: NTS



E THRESHOLD SEALING ISOMETRIC DETAIL
SCALE: NTS



F DOOR JAMB SECTION
SCALE: NTS

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENNER, FLORIDA
ROOFING AND EXTERIOR RESTORATION PROJECT
PROJECT NUMBER: 22-012

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REVISIONS		
NUMBER	TYPE	DATE

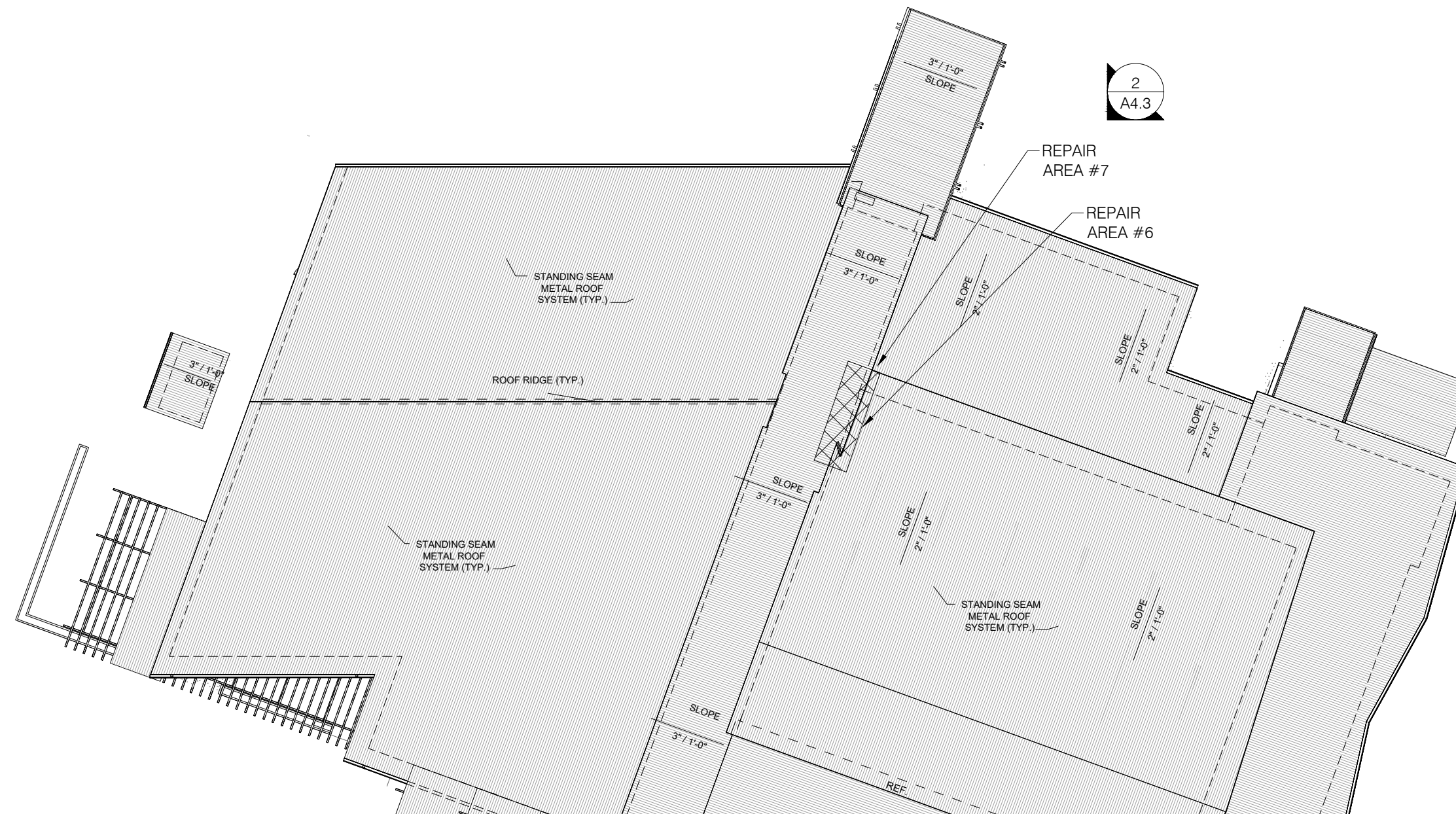
DRAWN BY: JHH PROJECT NUMBER: 22-012
APPROVED BY: JPA PHASE: BID DOCUMENTS
ENGINEER: JNH DATE: MAY 17, 2022

BUILDING ENVELOPE REPAIR # 3, 4 & 5
A5.2

PLOT: SHEET



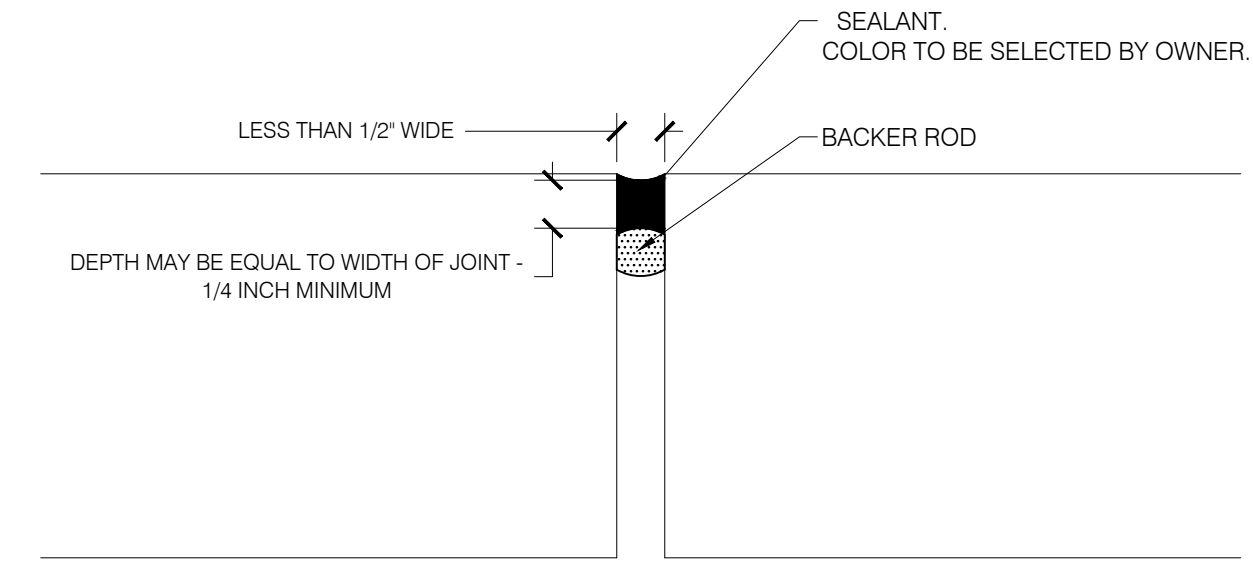
A NORTH EAST ISOMETRIC VIEW REPAIR AREAS
SCALE: NTS



B PARTIAL ROOF PLAN
SCALE: NTS

NOTES:

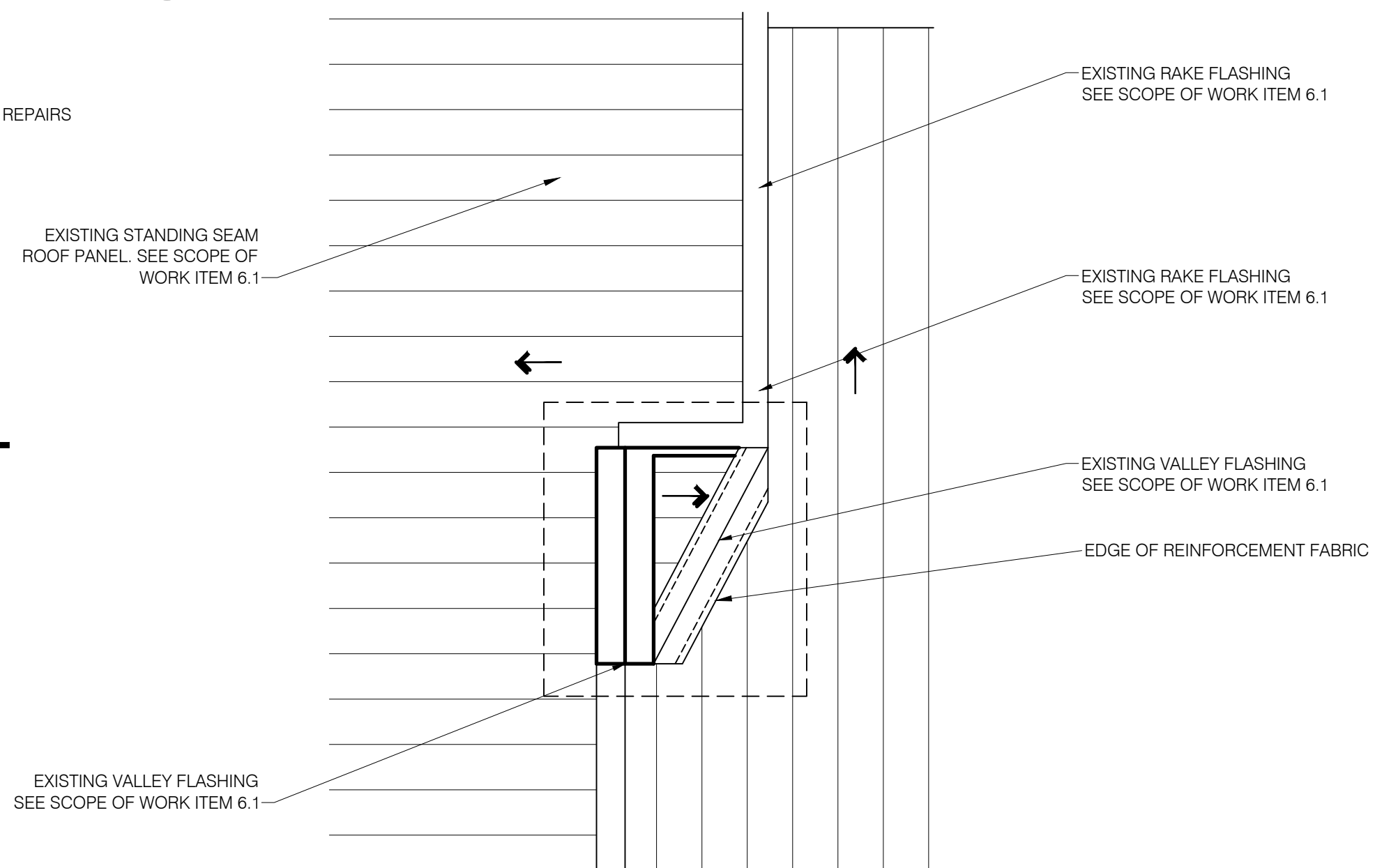
1. FOR ALL DYNAMIC JOINTS SMALLER THAN 1/4 INCH WIDE, CONSULT MANUFACTURER FOR RECOMMENDATIONS.
2. THE MINIMUM DEPTH OF SEALANT IS TO BE 1/4 INCH.
3. CONSULT MANUFACTURER FOR RECOMMENDATIONS ON JOINTS GREATER THAN 1 INCH WIDE.



C 1/2" OR SMALLER SEALANT JOINT DETAIL
SCALE: NTS



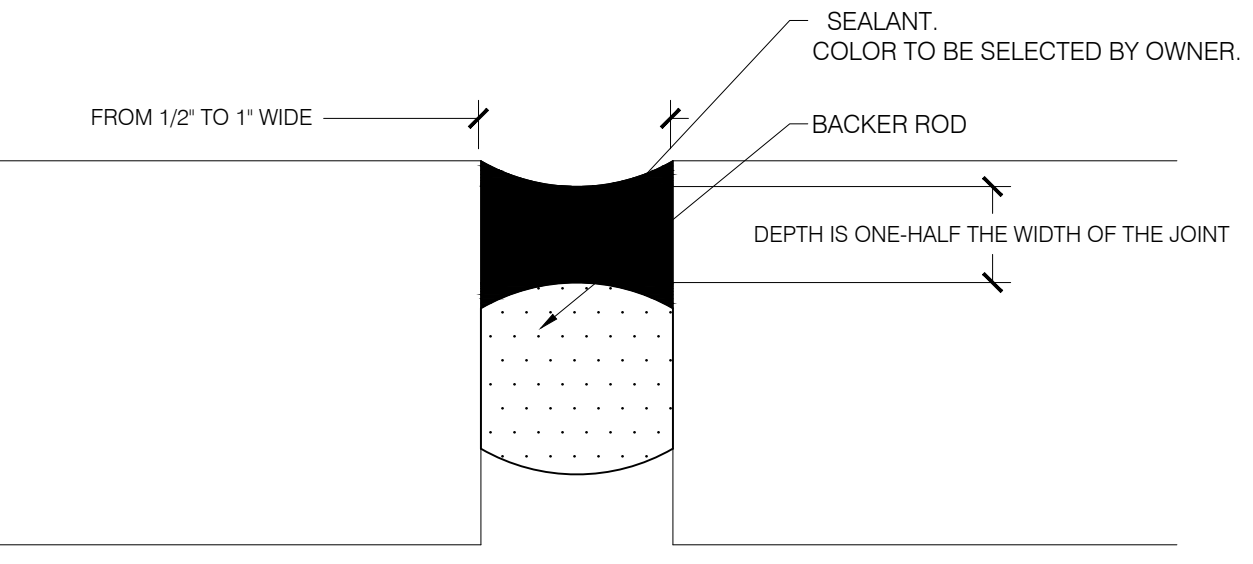
D REPAIR AREA #6 PHOTOGRAPH
SCALE: NTS



E REPAIR AREA #6 REPAIR DETAIL
SCALE: NTS

NOTES:

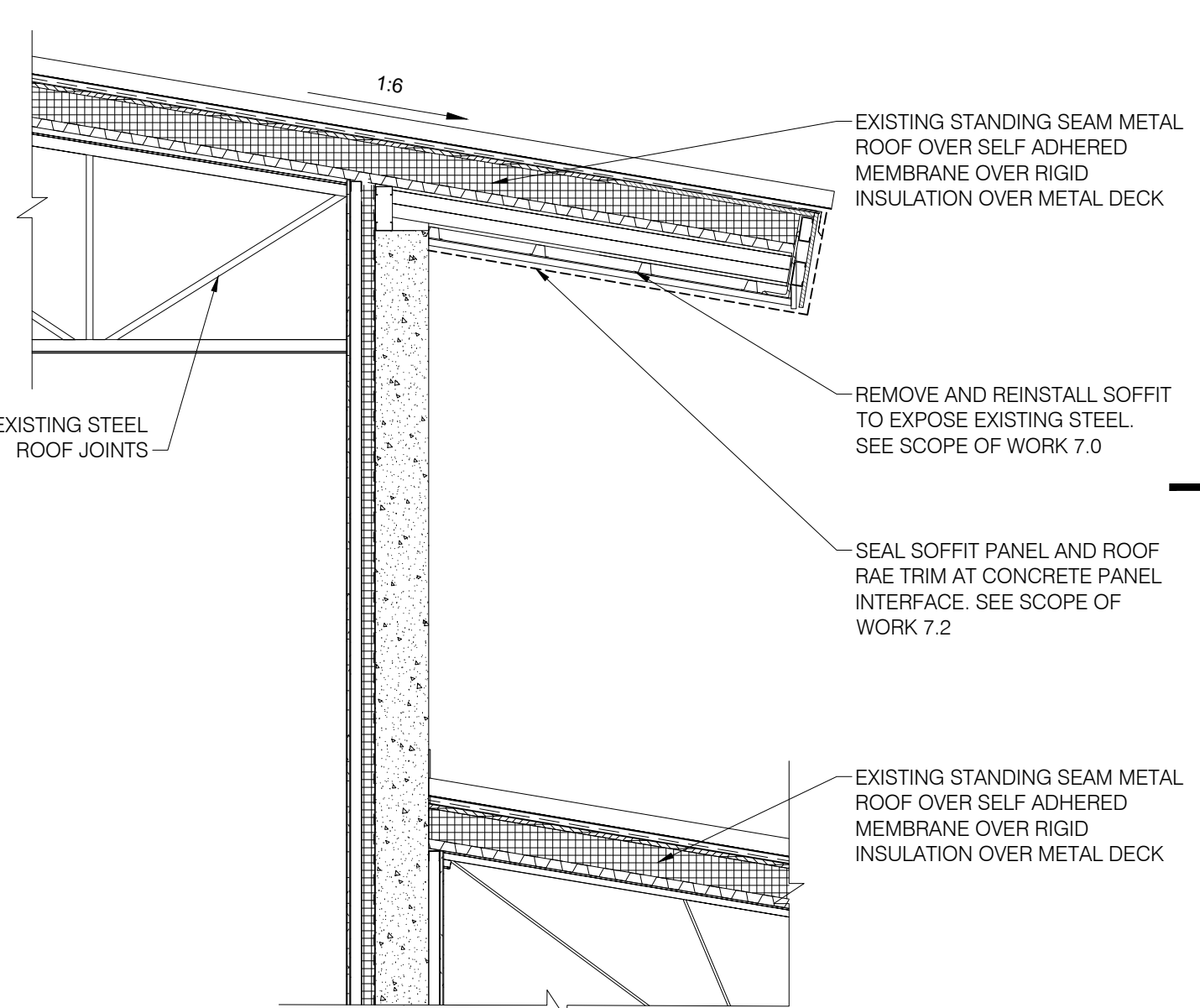
1. FOR ALL DYNAMIC JOINTS SMALLER THAN 1/4 INCH WIDE, CONSULT MANUFACTURER FOR RECOMMENDATIONS.
2. THE MINIMUM DEPTH OF SEALANT IS TO BE 1/4 INCH.
3. CONSULT MANUFACTURER FOR RECOMMENDATIONS ON JOINTS GREATER THAN 1 INCH WIDE.



F 1/2" TO 1" SEALANT JOINT DETAIL
SCALE: NTS



G REPAIR AREA #7 PHOTOGRAPH
SCALE: NTS



H WALL SECTION AT REPAIR LOCATION #7
SCALE: NTS



I REPAIR AREA #7 PHOTOGRAPH
SCALE: NTS

SCOPE OF WORK:
0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:
1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.0.

1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.

1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: INSTALL 20-0" OF PRE-PAINTED .040" ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS ROOF PANEL MANUFACTURER. FABRIL. INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT, HANGERS, STRAPS AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F/A5.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:
2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-S CLIPS ON TO THE EXISTING STANDING SEAM TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:
3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:
4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT DOOR PERIMETERS.

4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:
5.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:
6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR, REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:
7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFITT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPG AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFITT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.

7.2 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL, ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. PRIME AND PAINT ALL RUST DEPOSITS ON CLERESTORY WALL ASSEMBLY. SEE SPECIFICATION SECTION 07 92 00.

8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:
8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE, INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.

9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:
9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS, REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DIECOXANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A5.4 AND D/A-5.4.

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENNER, FLORIDA
ROOFING AND EXTERIOR RESTORATION PROJECT
PROJECT NUMBER: 22-012

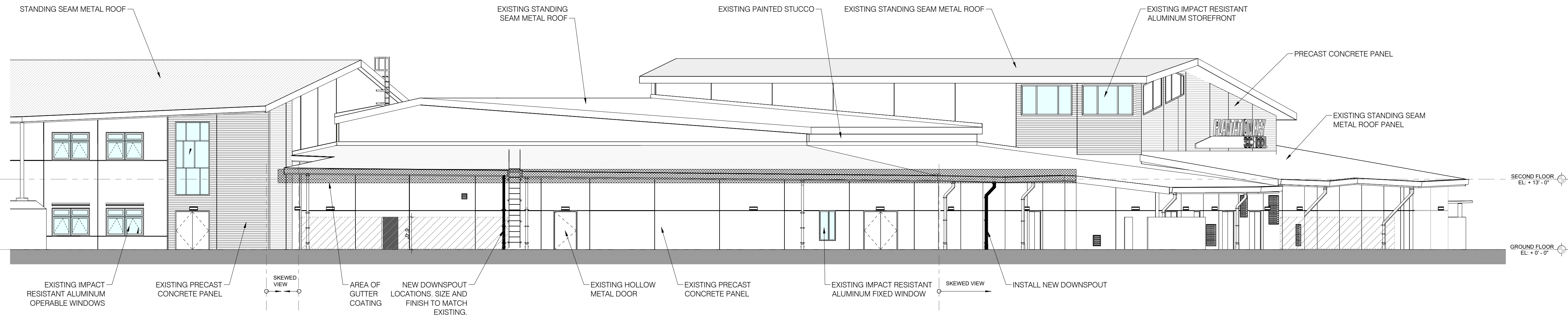
JAY AMMON ARCHITECT, INC.
3346 LAKEVIEW OAKS DRIVE • LONGWOOD, FLORIDA 32779
(407) 333-1977 • FAX: (407) 333-4686 • E-MAIL: JAY@JAYAMMON.COM

REVISIONS		
NUMBER	TYPE	DATE

DRAWN BY: JHH PROJECT NUMBER: 22-012
APPROVED BY: JPA PHASE: BID DOCUMENTS
ENGINEER: JHH DATE: MAY 17, 2022

BUILDING ENVELOPE
REPAIR # 6 & 7
A5.3

PLOT: SHEET



A PARTIAL SOUTH ELEVATION
SCALE: NTS

SCOPE OF WORK:

0.0 GENERAL: THE EXTERIOR BUILDING ENVELOPE RESTORATION OF THE PLANTATION KEY SCHOOL ROOF AND WALLS INCLUDES THE RESTORATION OF EXISTING DESIGNATED WALL COMPONENTS, SEALING OF EXISTING CURTAIN WALLS AND DOORS AND THE INSTALLATION OF NEW GUTTER RAIN DIVERTERS.

1.0 BUILDING ENVELOPE REPAIR AREA #1 - CAFETERIA:

1.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE CAFETERIA. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RAKE WALL, VALLEY, TERMINATION AND TRANSITION FLASHINGS FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL E ON SHEET A5.0 AND SPECIFICATION SECTION 07 01 50.0.

1.2 CURTAIN WALL RESTORATION: AT ONE CURTAIN WALL WINDOW ASSEMBLY IN THE CAFETERIA. REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING CURTAIN WALL ASSEMBLY. IF REQUIRED, REMOVE METAL GLAZING CAPS AND DIVERTER FLASHING TO ACCESS SEALANT. INSTALL NEW CLOSED CELL BACKER ROD AND DOWSIL 795 SILICONE SEALANT AT CURTAIN WALL PERIMETERS. SEE DETAIL F, G AND H ON SHEETS A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.3 PRECAST CONCRETE SEALANT REPLACEMENT: REMOVE ALL SEALANTS ASSOCIATED WITH THE PRECAST CONCRETE PANEL SURFACES. INSTALL A CLOSED CELL BACKER ROD AND ALL VERTICAL AND HORIZONTAL JOINTS. PRIME WALL JOINT SUBSTRATES, AND APPLY A DOUBLE BEAD OF DOWSIL CPS SEALANT AT ALL HORIZONTAL AND VERTICAL JOINTS. SEE DETAIL D ON SHEET A5.0. SEE SPECIFICATION SECTION 07 92 00.

1.4 SOFFITT AND RAKE FLASHING SEALANT REPLACEMENT: REMOVE ALL SEALANTS AT THE INTERFACE OF THE METAL SOFFITT PANEL ROOF TERMINATION AND METAL TRIM. INSTALL DOWSIL CPS SEALANT AT ALL TRANSITION FLASHINGS. SEE SPECIFICATION SECTION 07 92 00.

1.5 NEW GUTTER INSTALLATION OVER CURTAIN WALL WINDOW: INSTALL 20'-0" OF PRE-PAINTED .040" ALUMINUM GUTTER OVER EXISTING CURTAIN WALL ASSEMBLY. MATCH PROFILE OF EXISTING GUTTERS THROUGHOUT CAMPUS ROOF PANEL MANUFACTURER. FABRIL. INSTALL ONE NEW DOWNSPOUT AND DISCHARGE ON TO LOWER CANOPY ROOF. SECURE GUTTERS, DOWNSPOUT, HANGERS, STRAPS AND DOWNSPOUTS STRAPS WITH STAINLESS STEEL FASTENERS. SEE DETAIL F1A5.1.

2.0 BUILDING ENVELOPE REPAIR AREA #2 - CAFETERIA COURTYARD:

2.1 GUTTER RAIN DIVERTER INSTALLATION: AT EXISTING CAFETERIA COURTYARD GUTTERS. INSTALL NEW DIVERTER FLASHING TO REDUCE THE AMOUNT OF RAINWATER CONTACTING THE COURTYARD HARDSCAPE. INSTALL S-S CLIPS ON TO THE EXISTING STANDING SEAMS TO SECURE NEW ALUMINUM BRACKET. INSTALL NEW .063" ALUMINUM RAIN DIVERTERS INTO THE GUTTER ASSEMBLY. SEE DETAIL D ON SHEET A5.1.

3.0 BUILDING ENVELOPE REPAIR AREA #3 - MEDIA CENTER DOOR:

3.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

3.2 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

4.0 BUILDING ENVELOPE REPAIR AREA #4 - ADMIN CORRIDOR DOOR:

4.1 STOREFRONT DOOR FRAME RESTORATION: AT DESIGNATED DOOR LOCATIONS, REMOVE ALL PERIMETER SEALANTS FROM THE EXISTING STOREFRONT DOOR ASSEMBLY. INSTALL NEW CLOSED CELL BACKER ROD AND DOW 795 SILICONE SEALANT AT STOREFRONT DOOR PERIMETERS.

4.2 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

4.3 DIVERTER INSTALLATION AT STOREFRONT ENTRANCE DOORS: INSTALL NEW 18 GAUGE STAINLESS STEEL DIVERTER OVER DESIGNATED STOREFRONT DOOR ASSEMBLIES. SET VERTICAL FLANGE OF DIVERTER IN SEALANT TAPE AND SECURE TO THE EXISTING TEXTURED PRECAST CONCRETE WALL ASSEMBLY.

5.0 BUILDING ENVELOPE REPAIR AREA #5 - GYM DOOR:

5.1 DOOR THRESHOLD RESTORATION: REMOVE ALL SEALANTS FROM THE EXISTING DOOR THRESHOLD. TEMPORARILY REMOVE EXISTING DOOR THRESHOLD AND RESET IN A FULL BED OF URETHANE SEALANT. RESECURE THRESHOLDS WITH NEW STAINLESS STEEL FASTENER AND SEAL HEADS OF FASTENERS. INSTALL SEALANT AT DOOR JAMB AND THRESHOLD.

6.0 BUILDING ENVELOPE REPAIR AREA #6 - GYM ROOF:

6.1 ROOF FLASHING WATERPROOFING: AT STANDING SEAM METAL ROOF AREA ABOVE GYM AND MAIN CORRIDOR. REMOVE ALL EXPOSED SEALANTS FROM THE EXISTING RAKE, RIDGE CAP, SHED VALLEY, TERMINATION AND TRANSITION FLASHINGS. PRIME METAL PANELS SURFACES AND INSTALL A FULLY REINFORCED LIQUID MEMBRANE OVER EXISTING RAKE, RIDGE CAP, SHED RIDGE CAP, VALLEY, TERMINATION AND TRANSITION FLASHINGS. INSTALL CUSTOM COLOR TOP COAT AND CLEAR SEALER TO REPAIR AREA. SEE DETAIL D ON SHEET A5.3 AND SPECIFICATION SECTION 07 01 50.61.

7.0 BUILDING ENVELOPE REPAIR AREA #7 - GYM CLERESTORY WALL:

7.1 SOUTH CLERESTORY GYM WALL: TEMPORARILY REMOVE EXISTING METAL SOFFITT PANELS AS REQUIRED TO ACCESS ROOF AND WALL FRAMING. AT CORRODED STEEL LOCATIONS, REMOVE ALL CORROSION FROM STEEL SURFACES. NOTIFY OWNER AND ARCHITECT AT LOCATIONS WITH MORE THAN 10% SECTION LOSS. INSTALL PPS AMERLOK 2 EPOXY PRIMER TO EXISTING STEEL FRAMING. REINSTALL EXISTING SOFFITT PANELS SECURED WITH STAINLESS STEEL OR ALUMINUM FASTENERS/RIVETS.

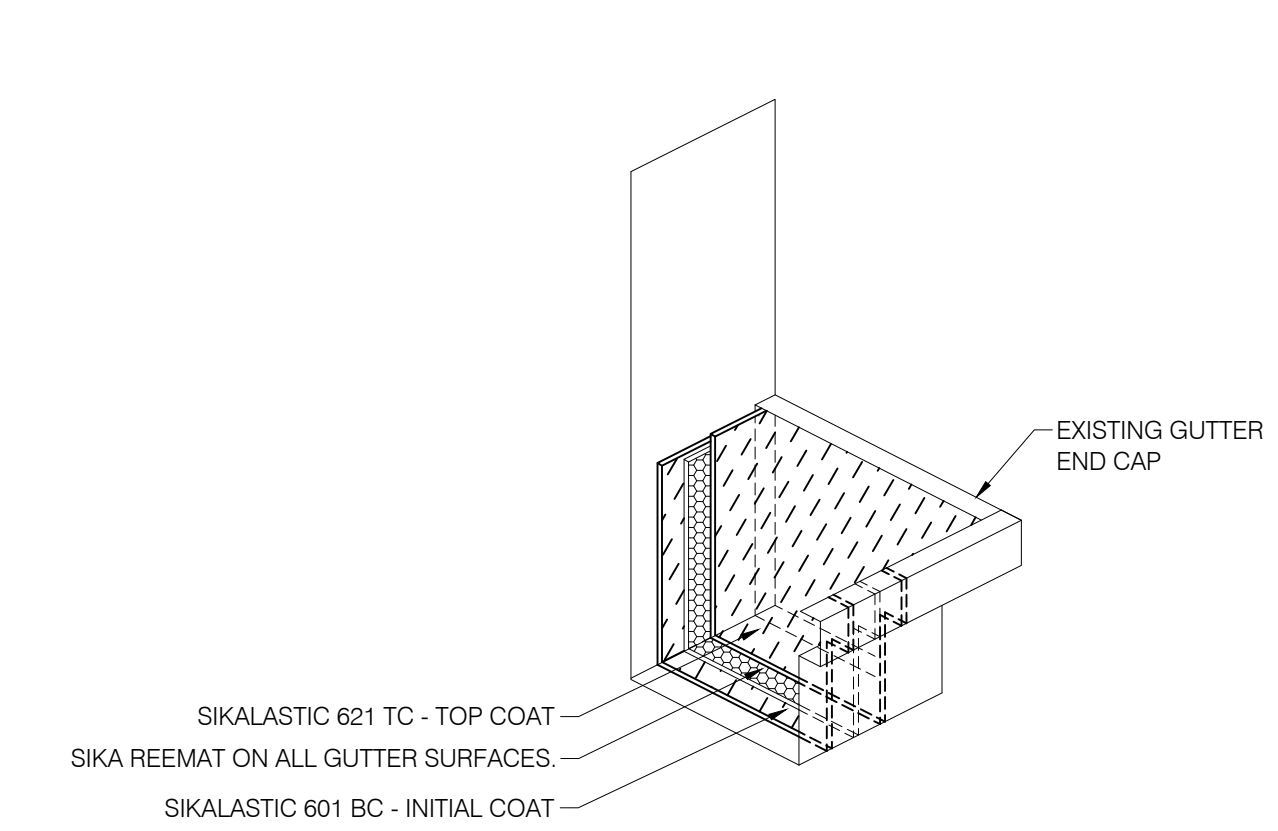
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8.0 BUILDING ENVELOPE REPAIR AREA #8 - RECEIVING ROOF:

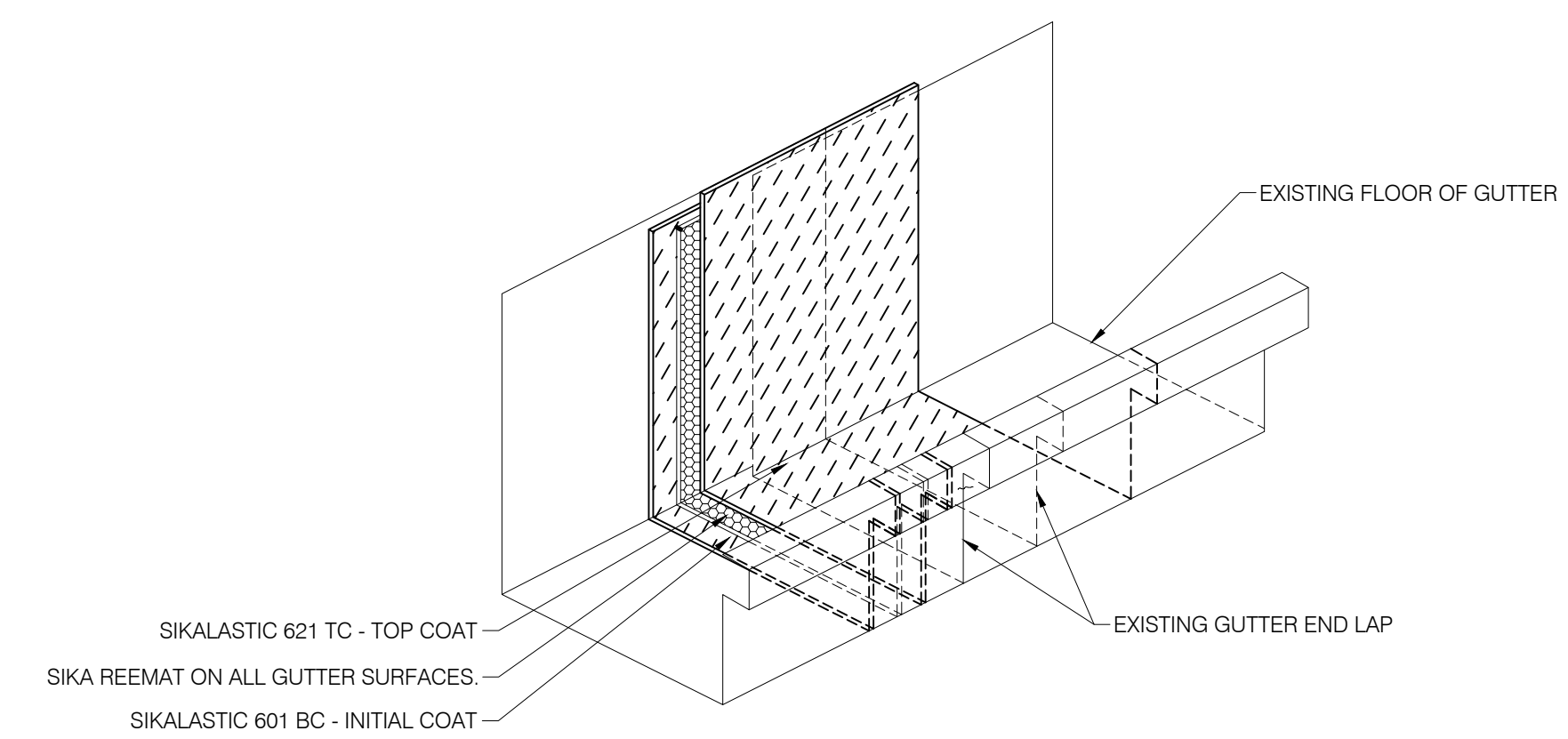
8.1 DOWNSPOUT INSTALLATION: AT SOUTH AND EAST SINGLE STORY ROOF ADJACENT TO RECEIVING AND MAINTENANCE OFFICE. INSTALL TWO NEW .050" PREPAINTED ALUMINUM DOWNSPOUTS. MATCH PROFILES OF EXISTING DOWNSPOUTS. SECURE DOWNSPOUTS WITH NEW ALUMINUM GUTTER STRAPS. MATCH PROFILE OF EXISTING STRAPS.

9.0 BUILDING ENVELOPE REPAIR AREA #9 - RECEIVING ROOF:

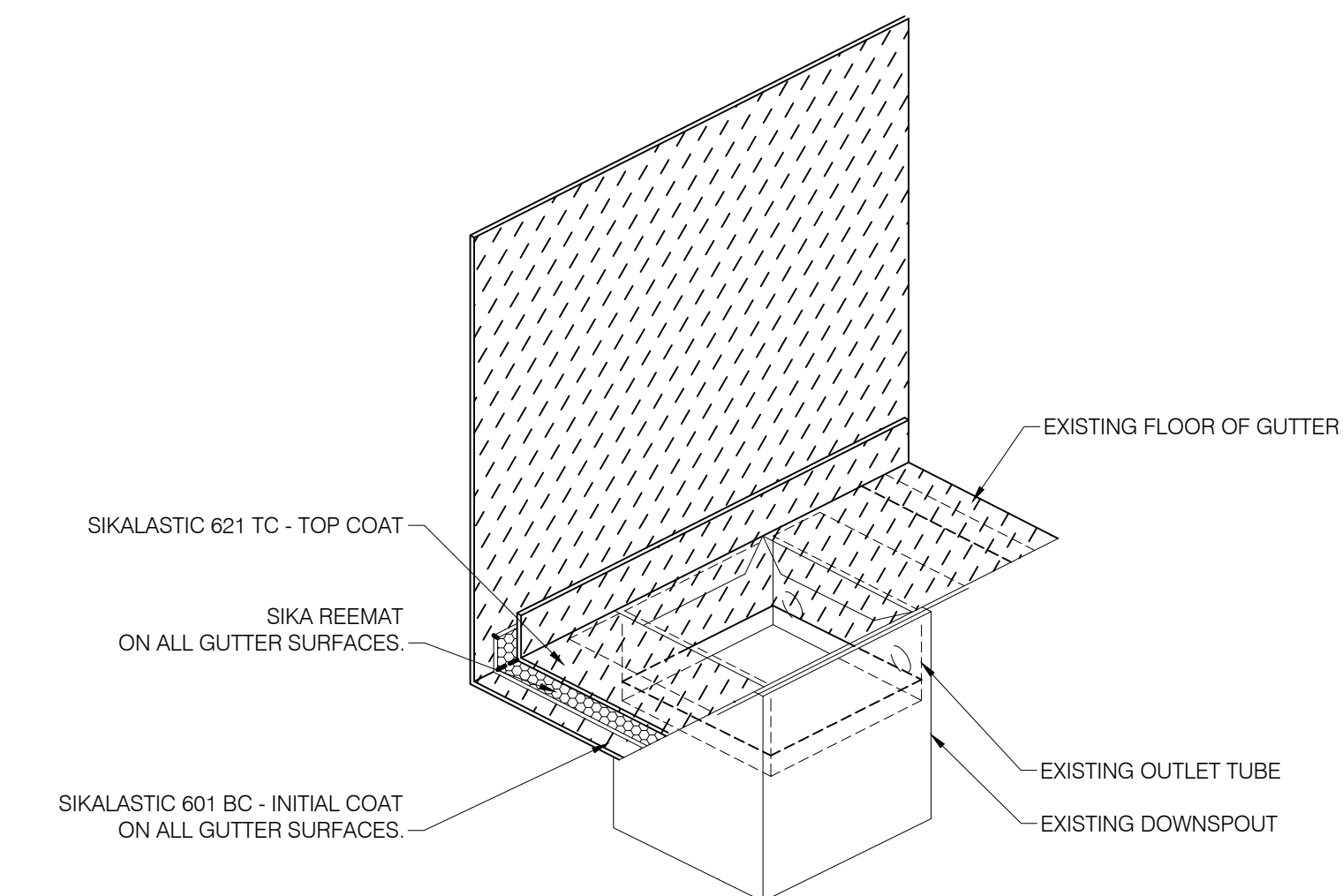
9.1 GUTTER METAL TO METAL JOINT WATERPROOFING: AT METAL PANEL ROOF GUTTERS. REMOVE ALL DEBRIS / SEALANTS, AND PROPERLY PREPARE EXISTING GUTTER SURFACES. INSTALL NEW SIKALASTIC (DICOETHANE) COATING SYSTEM BY SIKA OR EQUIVALENT HIGH PERFORMANCE COATING FOR PONDING WATER ON ALL METAL TO METAL GUTTER JOINT SURFACES. SEE DETAILS B/A-5.4, C/A5.4 AND D/A-5.4.



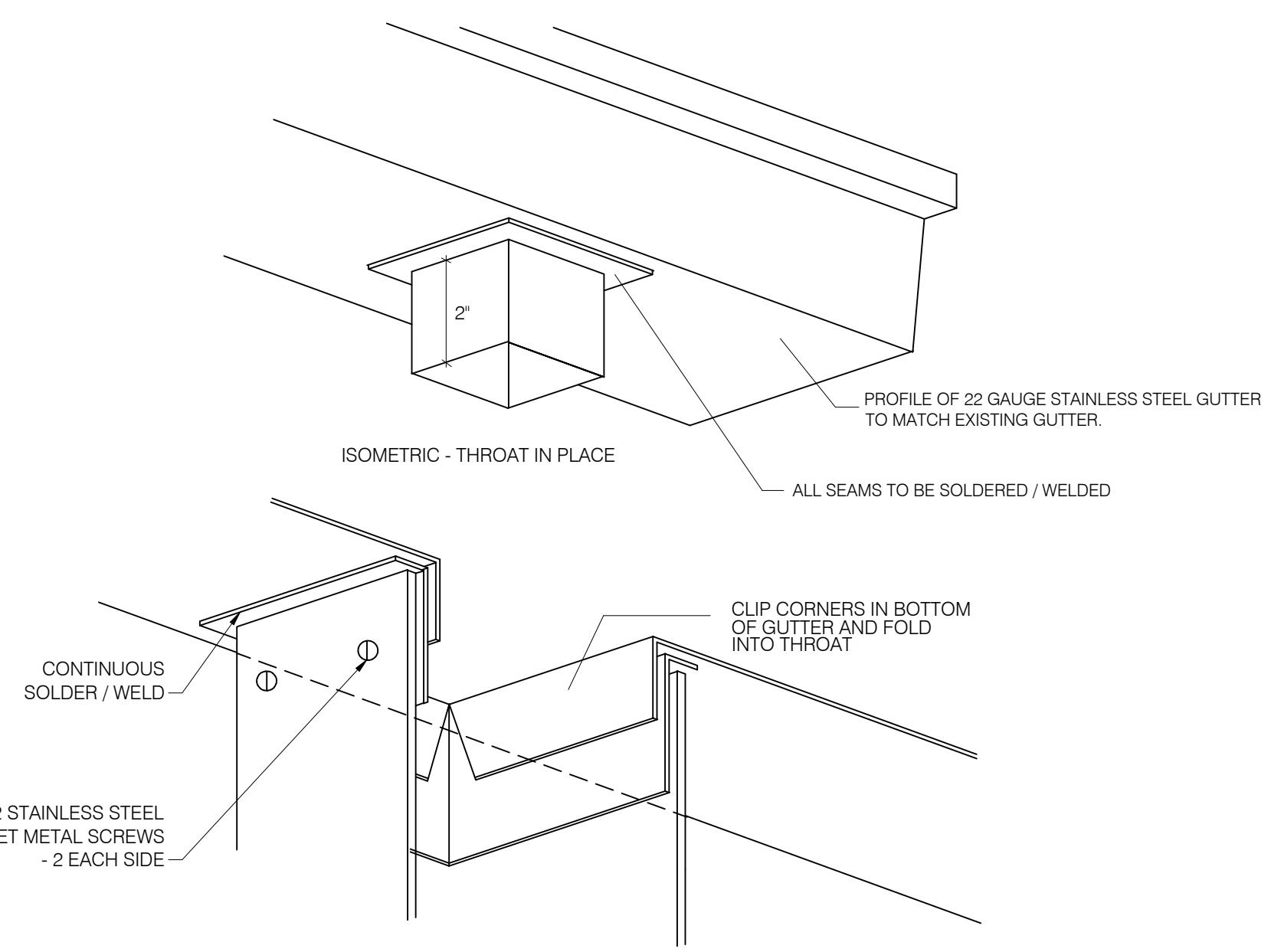
B SEAL OF END JOINT DETAILS
SCALE: NTS



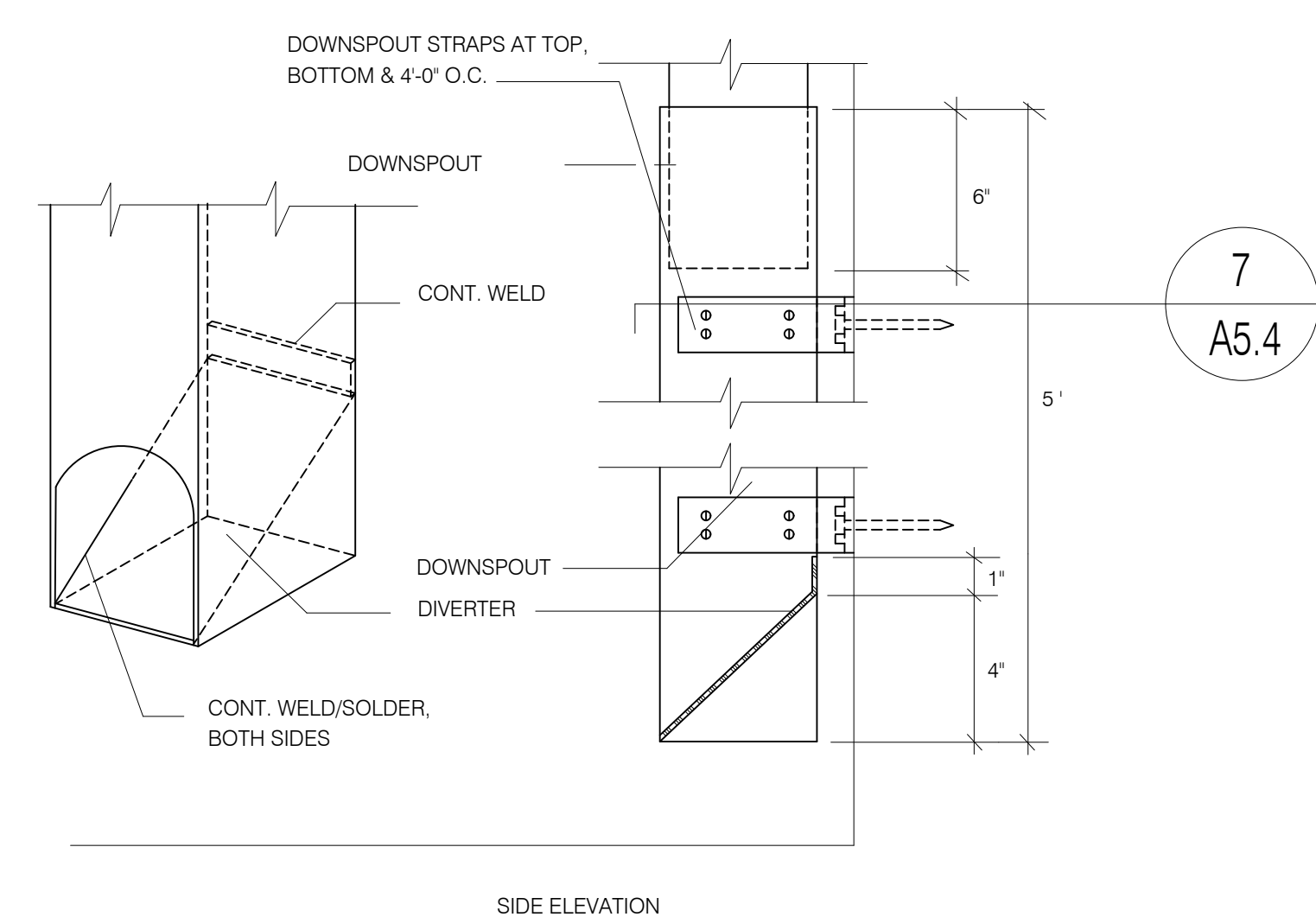
C GUTTER JOINT SEALANT DETAIL
SCALE: NTS



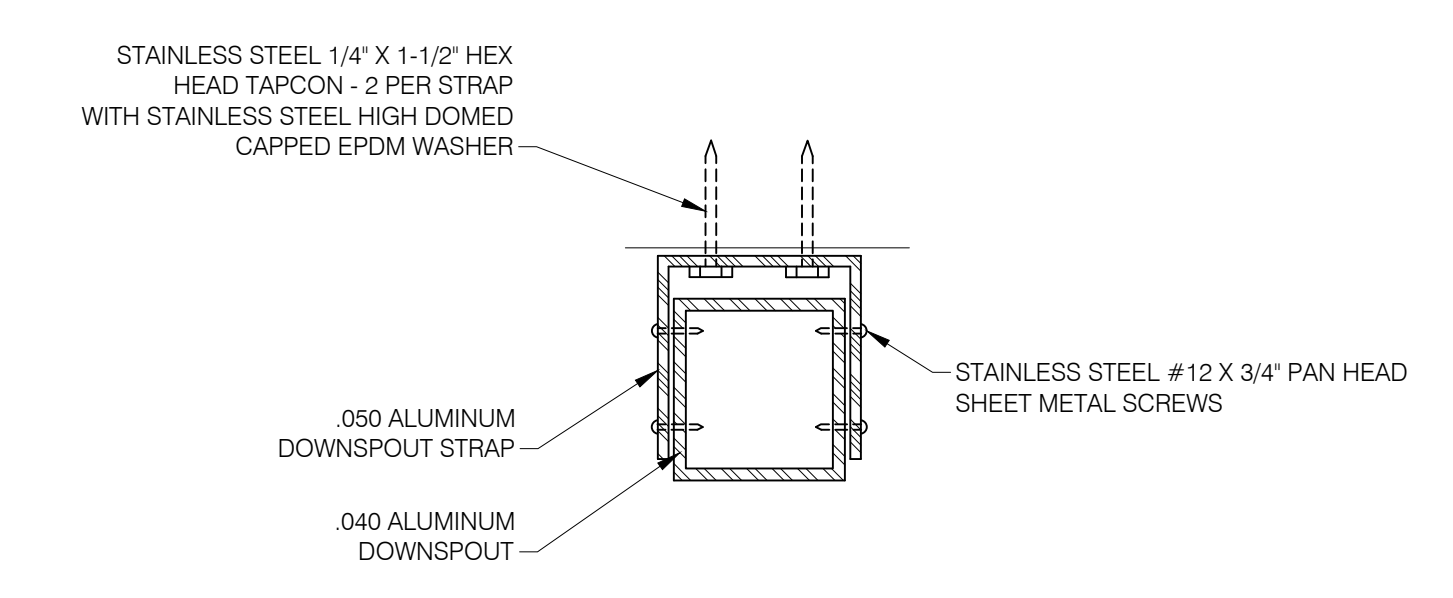
D DOWNSPOUT SEALING DETAIL
SCALE: NTS



E GUTTER DOWNSPOUT CONNECTION DETAIL
SCALE: NTS



F DOWNSPOUT CONNECTION - AT GRADE
SCALE: NTS



G DOWNSPOUT SECTION
SCALE: NTS

BID DOCUMENTS

PLANTATION KEYS HIGH SCHOOL
TAVENNER, FLORIDA
ROOFING AND EXTERIOR RESTORATION PROJECT
PROJECT NUMBER: 22-012

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REVISIONS		
NUMBER	TYPE	DATE

DRAWN BY: JHH PROJECT NUMBER: 22-012
APPROVED BY: JPA PHASE: BID DOCUMENTS
ENGINEER: NHR DATE: MAY 17, 2022

BUILDING ENVELOPE REPAIR #8 & 9
A5.4

PLOT: SHEET